

THORESBY VALE, EDWINSTOWE

**LANDSCAPE DESIGN STRATEGY
& RESIDENTIAL DESIGN CODE**

9017-009-SK001

03/09/18

THORESBY VALE, EDWINSTOWE

Landscape Design Strategy & Residential Design Code

Contents

1.0 Introduction

2.0 Site Context

- 2.1 Existing Site:
 - Planning Policy
 - Landscape & Visual Impact Assessment
 - Landscape Character Assessments
- 2.2 Landscape Assets
- 2.3 Landscape Opportunities
- 2.4 Landscape and Green Infrastructure Strategy

3.0 Landscape Masterplan

- 3.1 Pedestrian and Cycle Routes
- 3.2 Play and Recreation Strategy
- 3.3 Planting Strategy

4.0 Landscape Character Areas

- 4.1. Woodland Edge
- 4.2. Site Frontage & Entrance Road Gateway
- 4.3. Central Green Space
- 4.4. Village Centre
- 4.5. Country Park - Restoration Area
- 4.6. Employment Area

5.0 Residential Areas - Public Realm Design Code

- 5.1 Residential Boundary Treatments
- 5.2 Residential Area A
- 5.3 Residential Area B
- 5.4 Residential Area C



Figure 1.1

THORESBY VALE, EDWINSTOWE

1.0 Introduction

Introduction

This document has been prepared by DLA Landscape and Urban Design, on behalf of Harworth, in order to outline the landscape framework and development of a landscape design code associated with Thoresby Colliery (the site) for the construction of a 150 hectare mixed use development comprising:

- Residential Development up to 800 dwellings (Class C3)
- Strategic Employment Site - up to 8 hectares of land for employment uses comprising:
 1. Up to 4,855sqm Class B1a (15%)
 2. Up to 13,760sqm Class B1c (42.5%)
 3. Up to 13,760sqm Class B2 (42.5%)
- A new Country Park comprising 99 hectares
- A Local Centre, "The Heart of the New Community" containing a mix of leisure (to include zip wire), commercial, employment, community, retail (up to 500 sq. metres), health, and residential uses on land comprising up to 1.74 hectares.
- A Primary School on a site of 1.3 hectares
- Open Space and Green Infrastructure (including SUDS)
- Associated access works including the details of the primary access junctions into the site from Ollerton Road

This document will build upon the findings and recommendations of the Thoresby Colliery Environmental Statement (December 2016), particularly in regards to the Landscape and Visual Impact Assessment (LVIA) chapter, as well as relevant sections within the Thoresby Colliery Design and Access Statement (December 2016) and developing Masterplan.

The design principles and diagrams contained within this document consider the relevant Newark and Sherwood District Council Planning policy and guidance, and explain how the physical design of the areas identified as public open space will be developed to ensure that the scheme delivers a sense of place and quality.



Figure 1.2
View towards remaining colliery buildings



Figure 1.3
Existing Aerial View of the site and wider landscape context

2.0 Site Context

Site Photographs

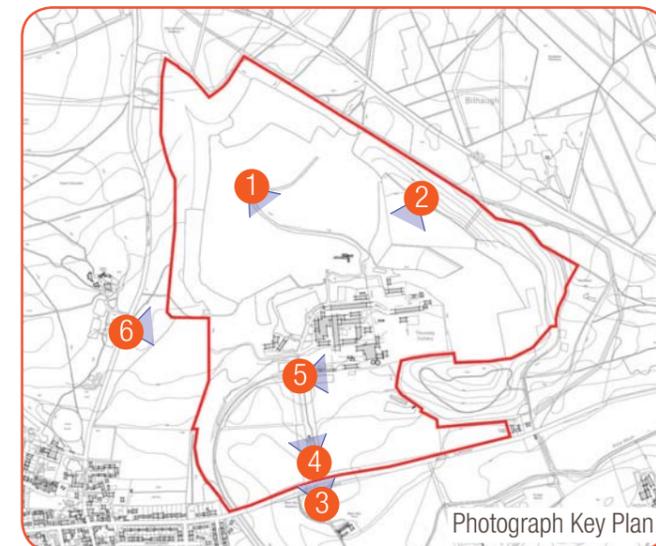


Figure 1.4
Site Photographs

2.1 Existing Site

The site lies within the East Midlands, north-east of Edwinstowe, two miles from Ollerton and 17 miles north of Nottingham (on the A614 Nottingham-Doncaster road).

Thoresby Colliery, previously a deep shaft coal mine, closed in July 2015. The site can be broadly split into two distinct areas:

- the former Pit Yard area (approximately 150 acres) which includes a number of existing colliery buildings and ancillary infrastructure; and
- the Spoil Heap that is already subject to a detailed restoration scheme that has been agreed with Nottinghamshire County Council. This would see heathland, grassland and woodland return to the area following restoration, whilst its profiling provides a natural viewing point for the Sherwood Forest and a connection to the Public Right of Way network.

The site is bound to the north by an area of woodland, including a belt of Ancient Woodland, known as Bilhaugh; to the east by Sherwood Heath Local Nature Reserve that also includes an area of Ancient Woodland; the A6075 Ollerton Road runs along the southern boundary; and to the west lies Sherwood Forest Country Park. Extensive areas of woodlands characterise the wider north and western areas surrounding the site. The existing settlement of Edwinstowe lies to the south-west.

Planning Policy

There are several planning policies and guidance documents that are of direct relevance to the Site. The Newark & Sherwood Local Development Framework (LDF) Core Strategy Development Plan Document (CSPD) and Policy Map - Adopted March 2011 - By Newark & Sherwood District Council sets out a vision for the area at a more local scale, and provides proposals that have directly influenced the landscape strategy for the site.

The key guidance the CSPD provides the that has been incorporated into the Masterplan includes:

- Core Policy section (Section 5):
 - Policy 9 (Sustainable Design)
 - Policy 12 (Biodiversity and Green Infrastructure)
 - Policy 13 (Landscape Character) and
 - Policy 14 (Historic Environment)
- Area Policy section (Section 6):
 - Policy ShAP 1 (Sherwood Area and Sherwood Forest Regional Park)
- Policy Map and Inset Map 9 Edwinstowe: Maps are included on this page for reference.

LVIA

A Landscape and Visual Impact Assessment (LVIA) was carried out by Pegasus in December 2016 and the findings of this have been utilised to influence the landscape Masterplan for the site. This document will build upon the landscape mitigation strategy outlined within the assessment, as the LVIA concluded that:

“Overall, the proposed development will result in limited impacts at a localised level. The scale and form of proposed development is likely to result in impacts which are limited to the site area and its immediate context only”

Core Strategy Development Plan Document Policy Map and Inset Map 9 Edwinstowe:

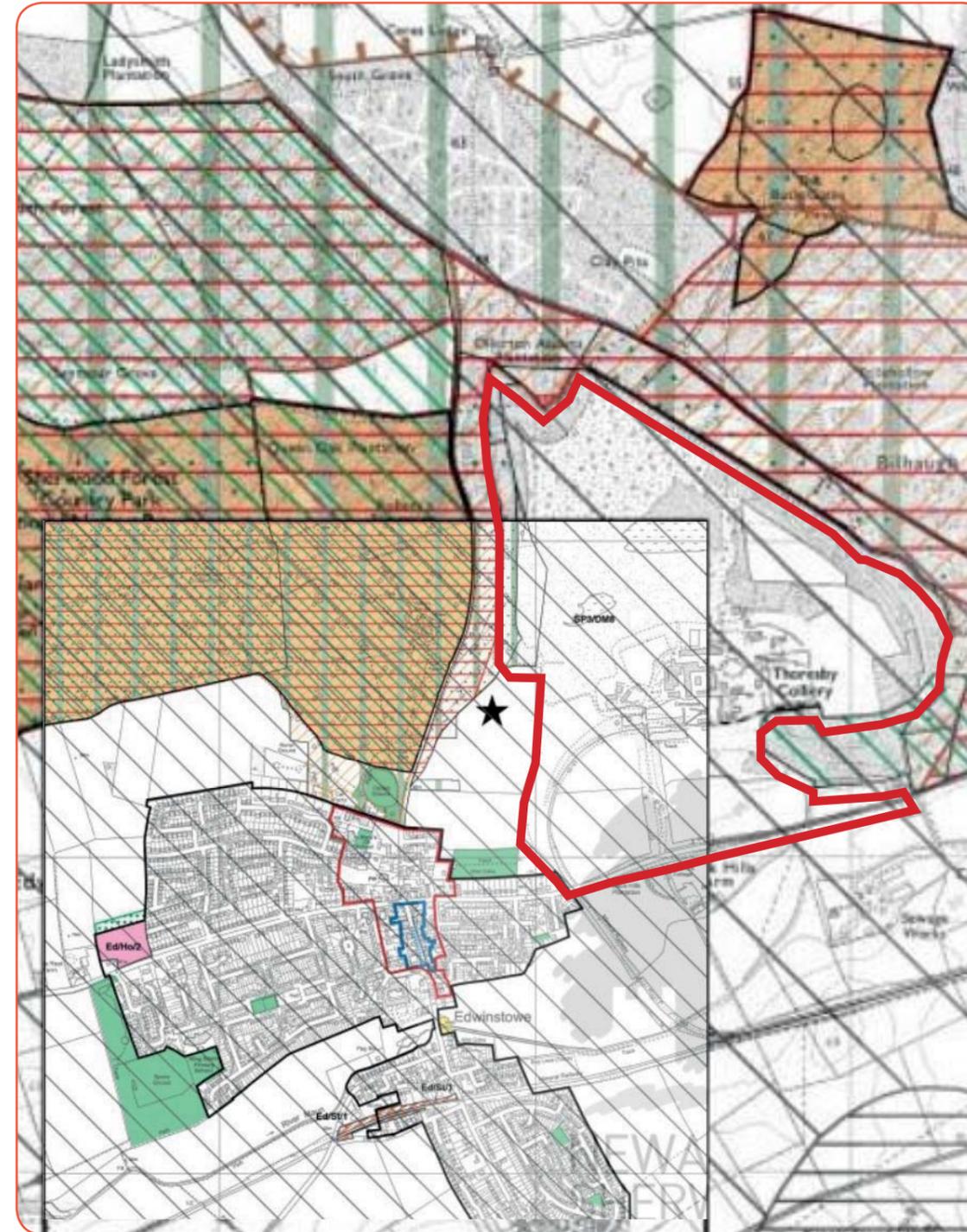


Figure 1.5
Policy Map and Inset Map 9 Edwinstowe

Landscape Character Assessments

The development of the landscape strategy begins with the study of existing landscape character assessments, both national and local, which provide crucial information used to help understand the character of the landscape that the development will sit within. Landscape character assessments identify the features that give an area its 'sense of place' and may also provide information on opportunities for enhancement.

The site is located in the following landscape character types/areas:

- National level – NCA 49 Sherwood;
- Regional level – Sandstone Forests and Heaths; and
- District Level – 'Wooded Estate lands within Sherwood' LCA and 'Estate Farmlands within Sherwood' LCA.

These documents provide opportunities and actions for positively managing and enhancing the landscape, including the following, which are relevant to the site:

- Protect, enhance and promote Sherwood as a landscape of international environmental and cultural significance;
- Secure and expand existing woods, heaths and parklands, and enhancing sustainable recreation and cultural opportunities;
- Create new woodland to screen and contain settlement edges, manage the expansion of the transport network, protect existing rural landscape features;
- Restore areas of arable land to semi-natural oak woodland and heathland;
- Conserve and reinforce existing hedgerows and seek opportunities to restore the historic field pattern with new hedgerow planting with some hedgerow trees, where appropriate;
- Conserve and reinforce the ecological diversity and distinctive character of heathland and semi-natural woodland habitats;
- Investment in high quality infrastructure designed to meet the different needs and levels of use of a range of visitors, including local communities, recreational day visitors and tourists;
- Integrate new green infrastructure and conservation of historic features into the redevelopment of derelict land to establish high quality characteristic local environments;
- Create new landscapes, including woodland, heathland and amenity land, which is open to the public, on previous derelict land and spoil heaps; and
- Promote the industrial heritage of the area, particularly coal mining, by retaining some heritage features including old mining buildings and mining machinery, to offer educational and cultural history resources.

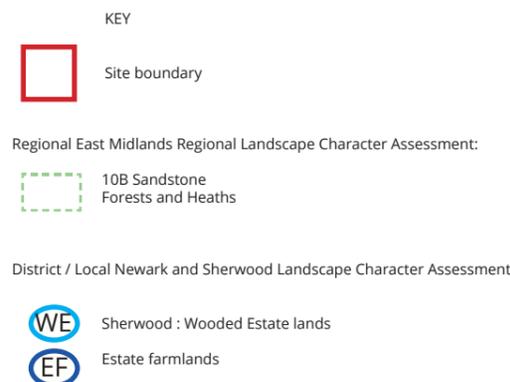
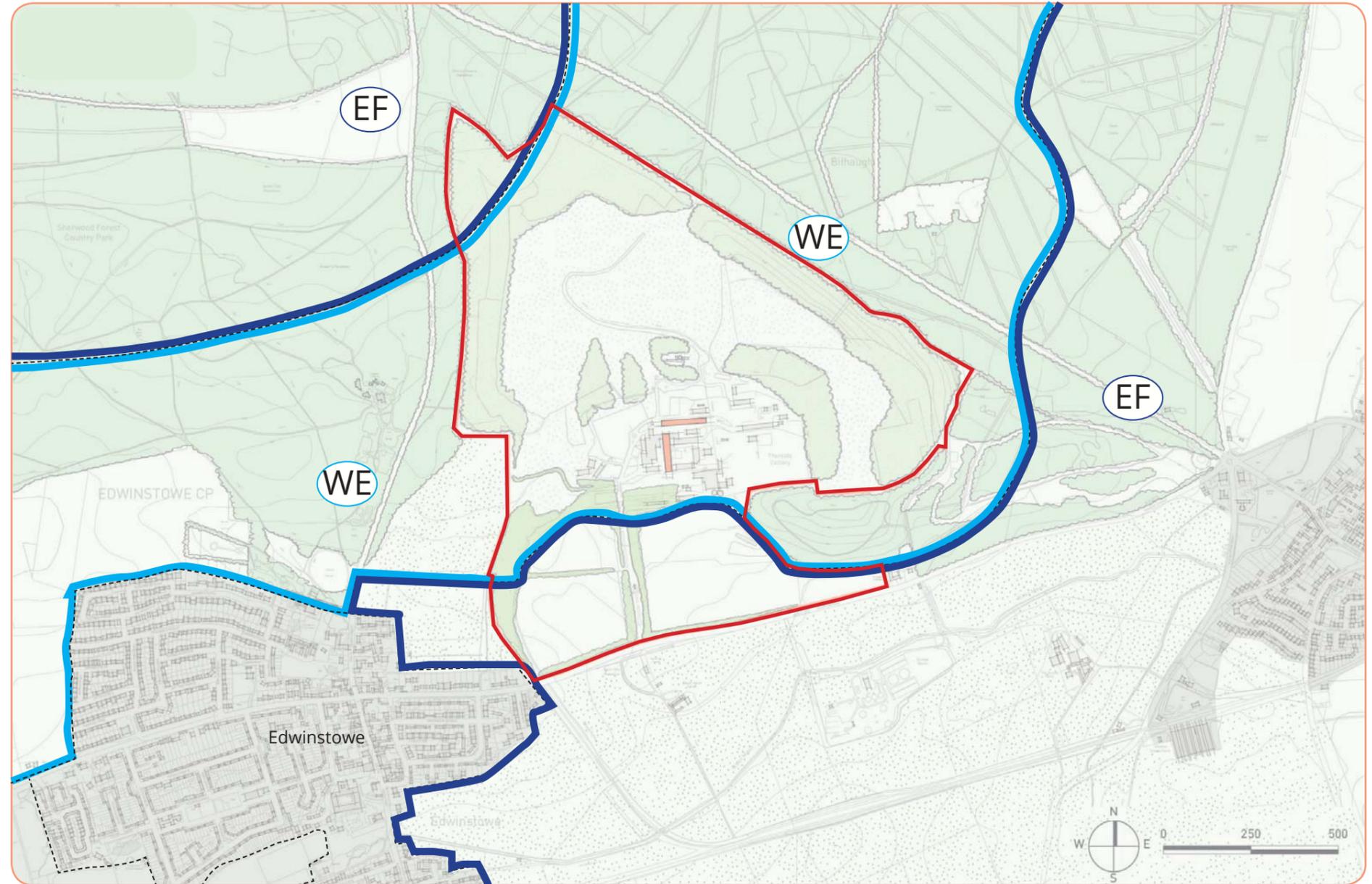


Figure 1.6
Landscape Character Areas

2.0 Site Context

2.2 Landscape Assets

As one of the underpinning principles of the masterplan, the intention is to lead with the landscape, then consider the built fabric - where the landscape informs the location, layout and design of the development where appropriate.

The first step is to look at the site and surrounding area. This is shown as the existing site with key landscape features identified (topography, trees and hedgerows, ponds, structures and infrastructure) as well as adjacent land uses, and where appropriate, historical/cultural assets.

The key assets of the existing site and local context include:

- The former land use as Thoresby Colliery 1925-2015 (90 years of operation). Following closure in 2015 some of the existing buildings and infrastructure are yet to be demolished;
- An existing green infrastructure framework defined by the green corridors that meander through the northern edge and central parts of the site and the disused rail loop defining the western edge of the site. These green corridors include existing tree and woodland vegetation;
- The landforms created through the colliery spoil tip to the north of the site. It should be noted that a Restoration Plan has been approved for this area, refer to section 4.5 of this document;
- Sherwood Forest Country Park lies along the northern and western site boundaries with the Sherwood Forest Visitor Centre located approximately 100m west of the site boundary. The Major Oak within Sherwood Forest is located approximately 900m to the west of the site;
- The village of Edwinstowe is located on the south eastern edge of the site; and
- A PROW runs along the north and western site boundaries within Sherwood Forest connecting into a wider trail network. A PROW also connects the site along its southern boundary linking to Edwinstowe.

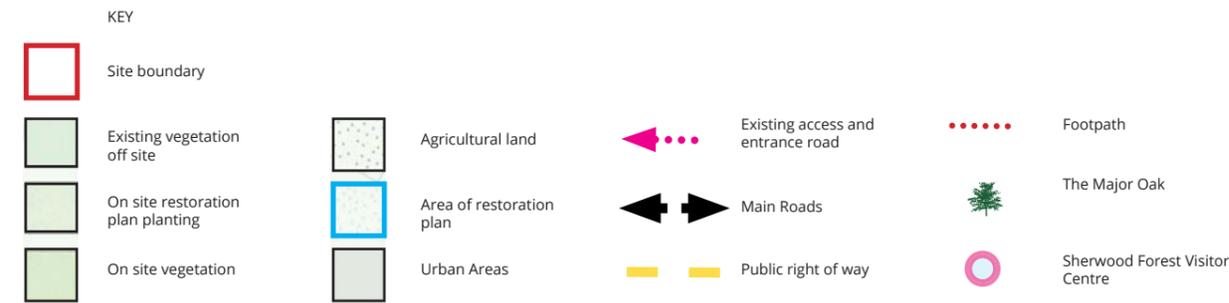
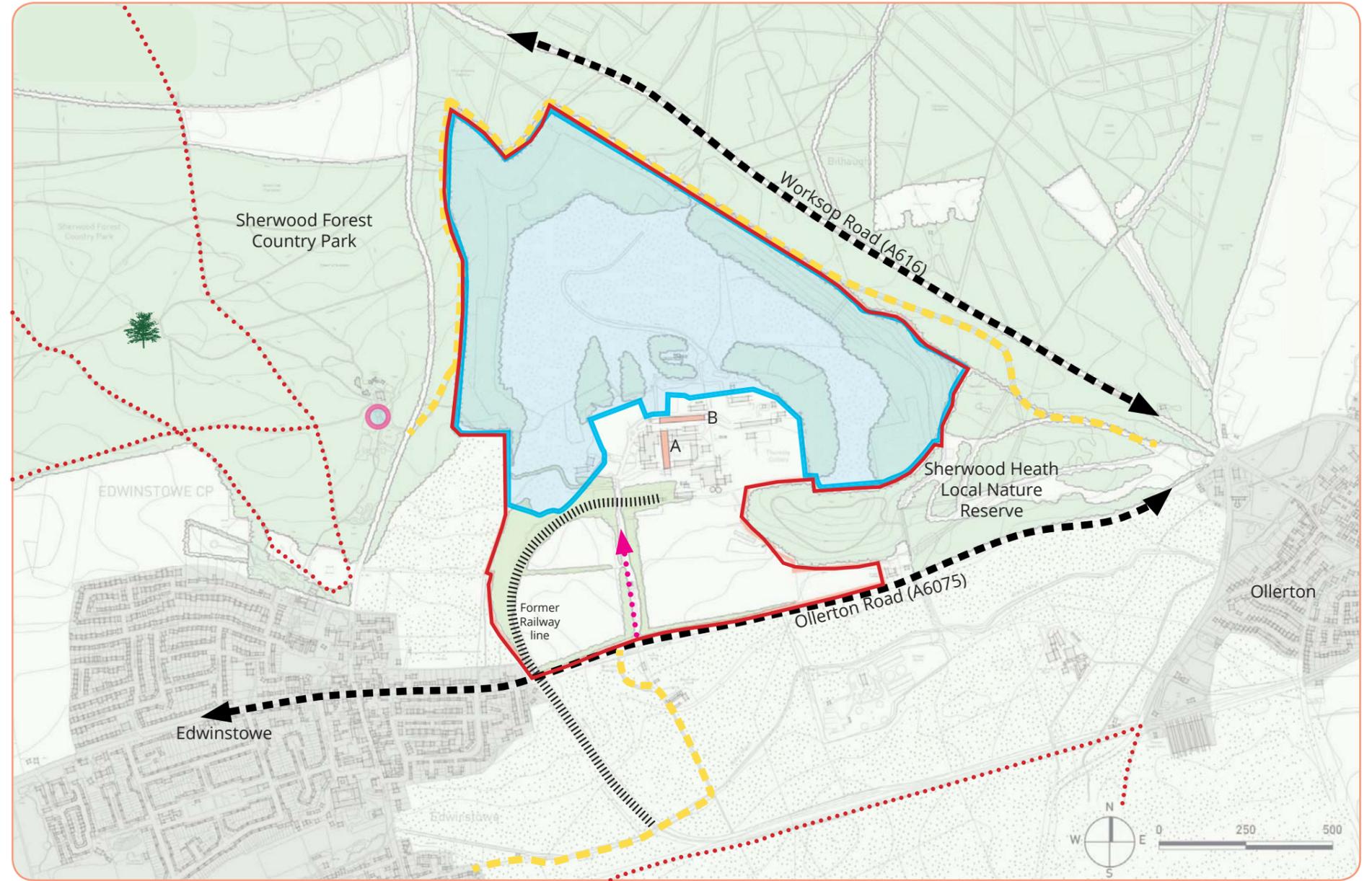


Figure 2.1
Landscape Assets

2.3 Landscape Opportunities

Following the desktop research and identifying the key landscape features within the site, the development of site opportunities and constraints translates the baseline information into a tool to guide the development of the landscape strategy.

The existing site has been analysed to provide a series of Landscape Opportunities.

The opportunities are both within the site boundaries, as well as looking to the wider landscape to provide physical and potentially visual connections.

Within the site there are opportunities to retain, enhance and link higher quality landscape features as follows:

- ①. The existing framework of mature vegetation that creates an advanced landscape framework providing an initial green infrastructure network and visual screening within the site;
- ②. Create additional green links through the site to connect landscape features and also provide integration of the site into the local setting, provide screening and a landscape connection and enhancement between adjacent land uses. The creation of an interconnected green infrastructure can be enhanced through substantial planting proposals and open space, providing the potential for multifunctional uses such as the incorporation of SuDS systems, recreational activities and access routes;
- ③. The former Colliery land use, and associated infrastructure, which is both a prominent and detracting feature within the local landscape that influences local landscape character, provides the opportunity to enhance the wider landscape character;
- ④. The PROW and informal trail network surrounding the site presents opportunities for improving connectivity to the area and recreational opportunities. This also presents opportunities to improve access across the wider area by the provision of a number of new access routes across the site, with primary access utilising proposed the green infrastructure and open space network.
- ⑤. The proximity to Edwinstowe to the south west, provides opportunities through green infrastructure connectivity;
- ⑥. Embrace the topography and vantage point of the spoil mounds. These are distinctive features within the local landscape and also a link to the site previous use; and
- ⑦. Retain and enhance the existing ponds to the centre of the site for amenity and ecological enhancements. These features also has potential to be utilised as part of a SuDs system.

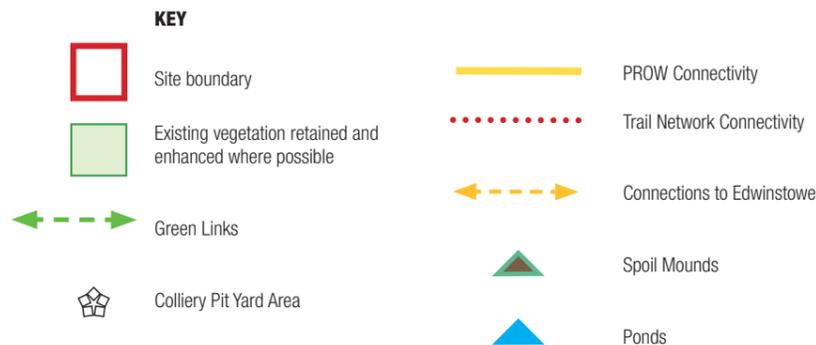
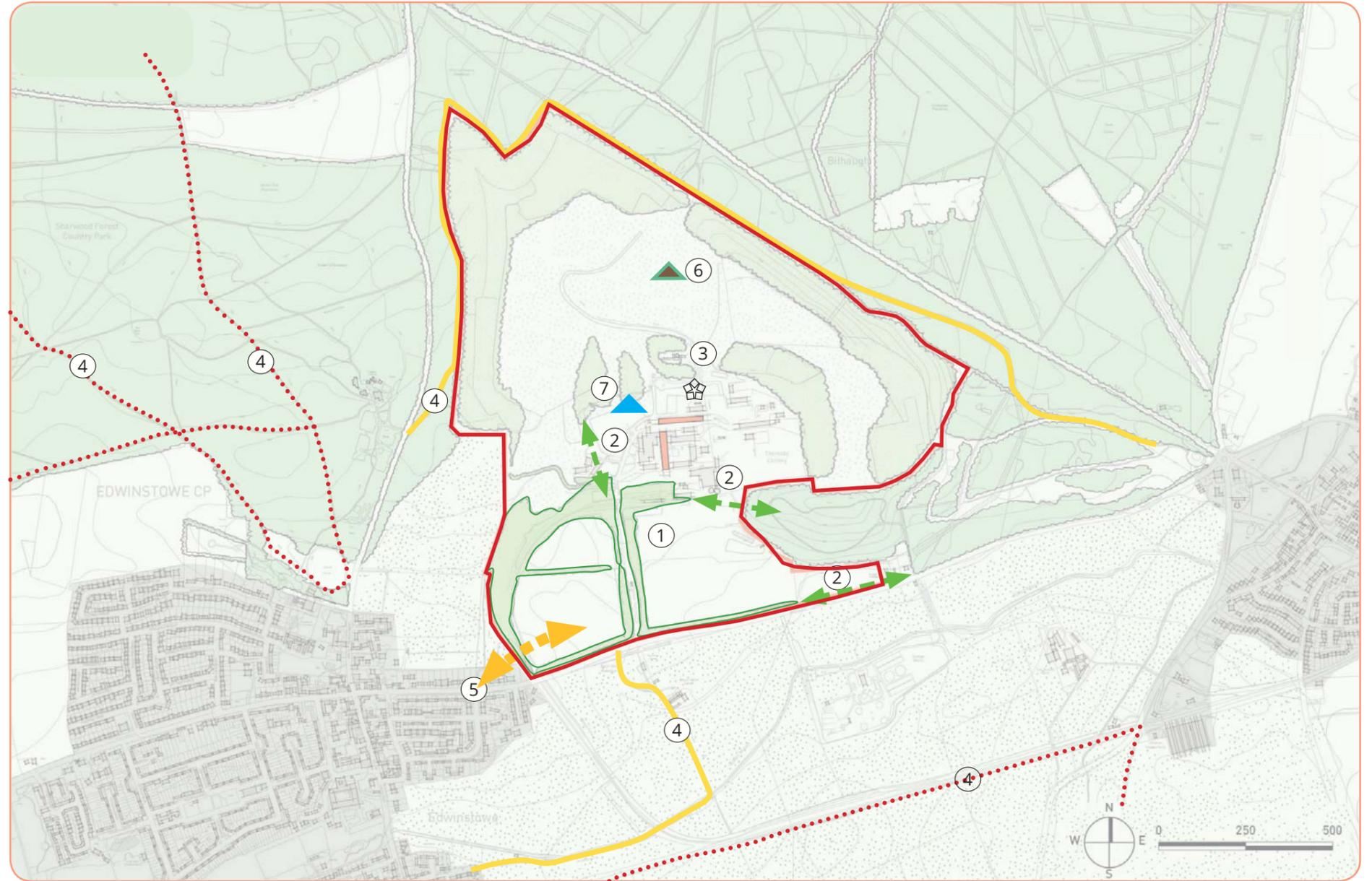


Figure 2.2
Landscape Opportunities

2.4 Landscape and Green Infrastructure Strategy

The landscape strategy for the site is based upon the creation of an interconnected green space network. The development of a landscape strategy presents a series of key design principles that respond to the opportunities and constraints of the site.

The primary aims of the landscape strategy are to retain, enhance and connect existing landscape features to each other and the surrounding area. This approach provides a comprehensive landscape structure which informs the site layout and provides a high quality setting for the development. The objectives of the landscape strategy are to:

- Enhance the ecological, recreational and amenity value of the site;
- Create a network of interconnected and engaging spaces;
- Connect the site with the surrounding landscape; and
- Integrate the development into the local landscape.

The opportunity is to then utilise the landscape structure and maximise multi-functionality affording a range of social, environmental and economic benefits within a green infrastructure network, such as:

- Cycle and pedestrian links;
- Habitat creation;
- SuDS features;
- Amenity space;
- Local Cultural heritage and ecological education and interpretation;
- Public Art; and
- Play and leisure.

The provision of high quality green space is vital at to the site given its proximity to Sherwood Forest which provides a unique boundary and setting to the site. The alignment of pedestrian and potentially cycle links with the green infrastructure allows users to access and enjoy the green spaces within the site, as well as utilise the site to connect to the wider footpath and PROW network.

The footpath network will be laid out, utilising well designed green spaces, to form appropriate and direct connections to promote and encourage use for walkers, joggers and runners, and where appropriate cyclists. This connectivity, promotes health and well-being, with opportunities to further this by the potential to introduce trim trail equipment or being part of a wider running route.

The green infrastructure represents a baseline over which key development principles can be layered. These include legibility and sense of place, urban form, accessibility, health and well-being and sustainability.

Green infrastructure will be in the form of green corridors that meander through the site and define boundaries. These areas include existing tree and woodland planting that will be retained and enhanced through additional planting, SuDS systems and incorporation of amenity spaces.

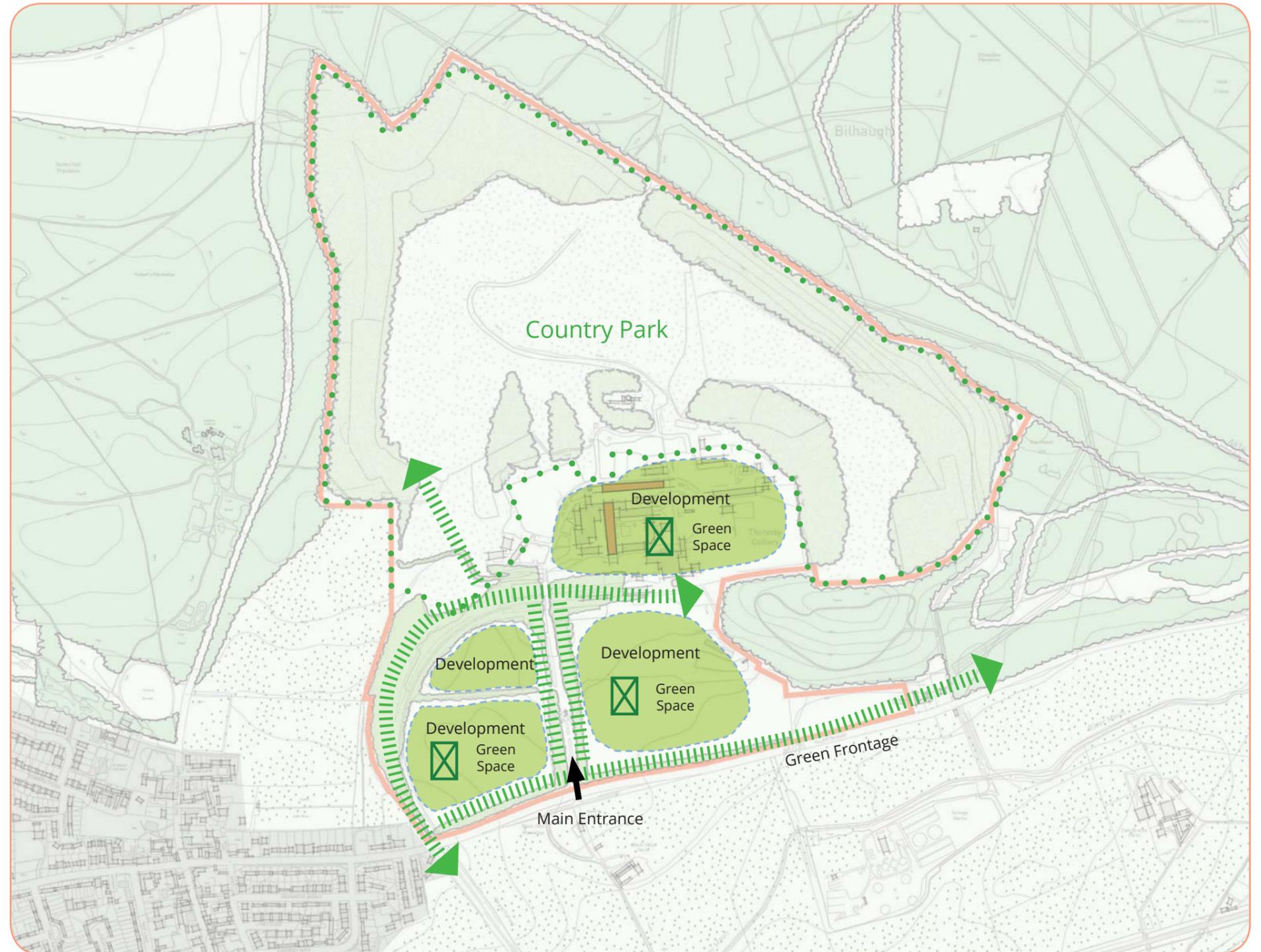


Figure 2.3
Landscape Strategy

Landscape Masterplan

From the analytical work undertaken, the Landscape Masterplan has been evolved to draw together a number of inter-related layers that have evolved through the design process, each with a unique character and experience, collectively aiding the visual and physical connection with the context to create an innovative and sustainable place to live.

Site Features

A gateway will be created at the primary site access point to help generate a sense of arrival. Nodes will be designed at key junctions of connectivity to enhance legibility and create identity.

The existing 'blue' infrastructure will be enhanced to improve its biodiversity benefits whilst providing visual amenity. Additional water attenuation areas will be sensitively designed to ensure they maximise biodiversity and amenity potential.

Vegetation

The existing assets of the existing woodland will be retained where possible. Proposed planting and open green space will link the on site vegetation with the boundary woodland areas creating a valuable wildlife corridor by ensuring connectivity.

Throughout the development a palette of plants and plant mixes suitable for the local area will be used to ensure both consistency of appearance and promoting local biodiversity.

Landscape treatments within green-spaces will be designed to be visually effective and easily managed. Appropriate arrangements will be made for long term management and maintenance of these areas.

Green Spaces

A network of green spaces will connect into one another and form green corridors through the site. The landscape masterplan is characterised by the provision of additional amenity spaces, connected by linear green links along the main road corridors, punctuated by gateway spaces at the entrance and transition between each space. The public open spaces will vary in size and character allowing people to use them in a variety of ways.

The development will encourage a healthy lifestyle for the new community through well designed walking, cycling, exercise and jogging routes. Public seating will be provided at regular intervals around the site footpath network to ensure that footpaths are accessible to those requiring rest stop opportunities.

Built Form

The design and orientation of buildings will not only utilise the visual benefit of the green spaces to provide a pleasant outlook but will also promote good natural surveillance to ensure a safe environment.

THORESBY VALE, EDWINSTOWE

3.0 Landscape Masterplan

Landscape Masterplan

The site has valuable existing features that will be retained and enhanced to underpin the wider green infrastructure strategy of the proposed masterplan. Existing woodland vegetation, the disused rail corridor and existing attenuation ponds are key elements that will be integrated with the proposed strategy to create a cohesive framework. The Landscape Masterplan will connect the development with its immediate surroundings and provide a hierarchy of green spaces and setting for the proposed development which will have a range of benefits, including:

- Provide opportunity for exercise, sport, active recreation, spiritual well-being and quiet contemplation;
- Provide community resources for learning and training;
- Provide opportunities for community involvement;
- Help establish local identity or sense of place; and
- Help maintain and enhance biodiversity.

The development will strive to attain the highest possible levels of sustainability. Increasing on site biodiversity is a key objective. The existing mature woodland will be supplemented with areas of managed and unmanaged planting, designed to create natural habitats.



Figure 3.1
Landscape Masterplan

- 1 Woodland Edge
- 2 Site Frontage & Entrance Road Gateway
- 3 Central Green Space
- 4 Village Centre
- 5 Northern Green Space
- 6 Employment Area
- 7 Residential Areas - Including incidental greenspace and road/footpath treatments
- 8 Primary School

THORESBY VALE, EDWINSTOWE

3.0 Landscape Masterplan

3.1 Pedestrian and Cycle Routes

The landscape structure of the site provides the opportunity to add value by combining uses, creating a multi functional Green Infrastructure network. A primary use, alongside habitat creation and amenity use, is the alignment of pedestrian links.

The pedestrian links allow users to access and enjoy the green spaces within the site, as well as utilise the site to connect to the wider footpath and PROW network. Final pedestrian routes and trails are subject to development of site wide levels so as to remote inclusivity of access where possible through appropriate gradients.

The footpath network will be laid out, utilising pleasant, well designed green spaces, forming loops to promote and encourage use for walkers, joggers and runners. This connectivity, promotes health and well-being, with opportunities to further this by introducing trim trail equipment or being part of a wider running route.

Key

- Existing PROW
- Pedestrian & Cycle Links

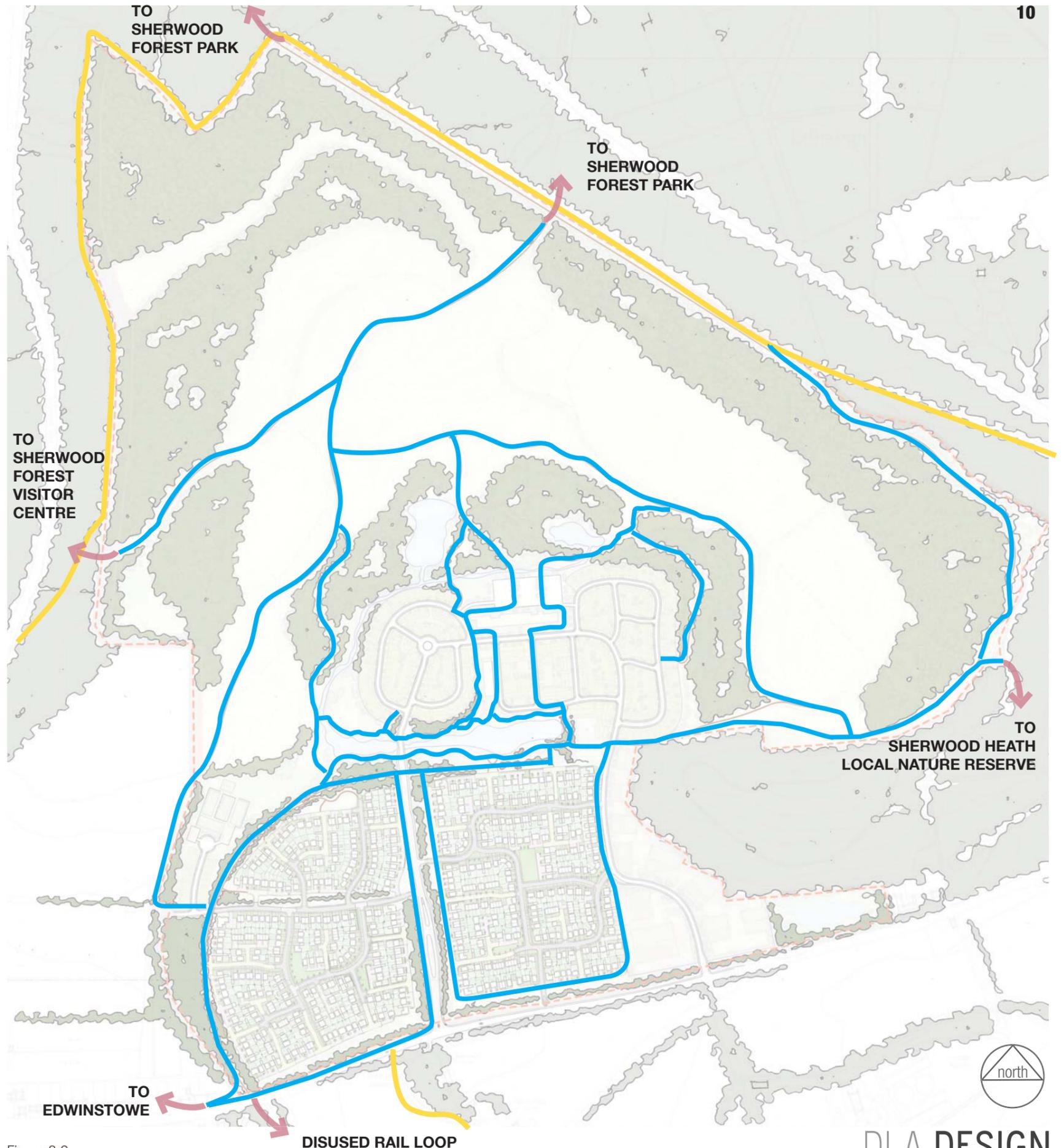


Figure 3.2
Pedestrian and Cycle Routes

THORESBY VALE, EDWINSTOWE

3.0 Landscape Masterplan

3.2 Play and Recreation Strategy

It is envisaged that some of the public open space within the site will incorporate the provision of play facilities for younger children which could take the form of a Local Area Play and / or a Local Equipped Area Play. The community play facilities should be located along the proposed pathways to create a destination as part of the recreation route and be overlooked by adjacent housing to provide a good degree of natural surveillance.

The Green Infrastructure of the site provides the opportunity to add value by combining uses, creating a multi-functional network. A primary use is the alignment of play and recreation with Green Infrastructure Network. This will include sports facilities, formal play areas, natural play, amenity space and playful trails.

The **Newark & Sherwood Green Spaces Strategy** sets out the required local provision standards for open space. Based on this guidance, and as summarised in the LDF SPD: *Developer Contributions and Planning Obligations Supplementary Planning Document - December 2013* the following types and areas of open space are required for the site:

- **Natural and semi-natural green spaces** – 10ha per 1,000 population.
- **Amenity green spaces** – 0.6ha per 1,000 population
- **Provision for children and young people** – 0.75ha per 1,000 population
- **Outdoor sports facilities** – 2.2ha per 1,000 population
- **Allotments and community gardens** – 0.5ha per 1,000 population

Key

-  Informal amenity space
-  NEAP (shown with 600m radius)
-  LEAP (shown with 240m radius)
-  LAP (shown with 70m radius)
-  "Playful Trail" created through inclusion of natural play elements along a pathway or trail including: Earth mounding, boulders, logs/tree trunks, willow structures.
-  5km Jogging trail/loop - potential to include trim trail equipment along route

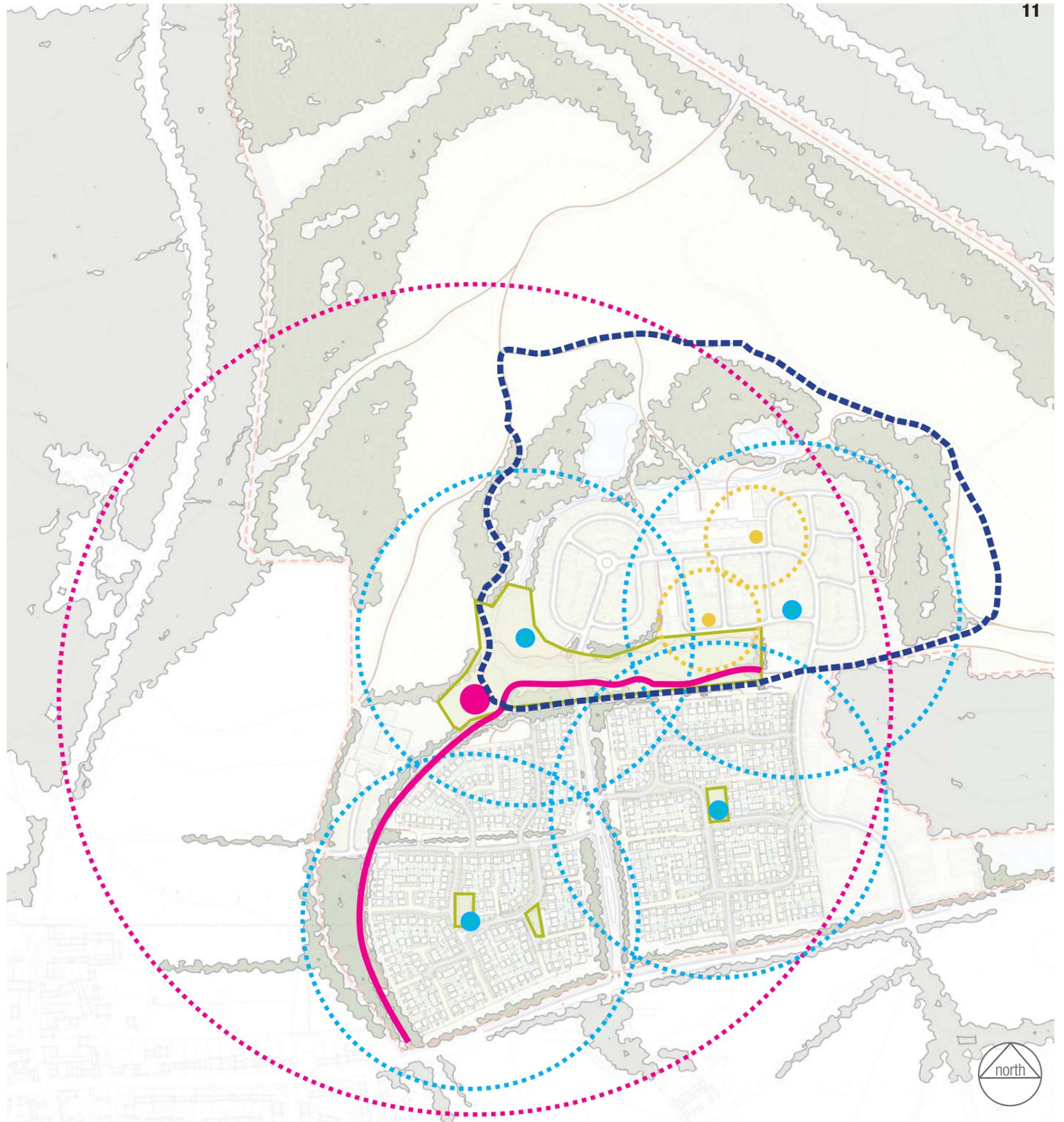


Figure 3.3
Play and Recreation Strategy

3.0 Landscape Masterplan

3.2 - Play & Recreation Strategy : Areas for Play

Types of Play Area based on '6 Acre Standard' document.

NEAP
Neighbourhood Equipped Area for Play

- situated within 15 minutes walk from home
- predominantly for older children
- min. 1000m² activity zone divided into two parts, one with equipment and other having hard surface/MUGA of min. 465m²
- min. 30m buffer zone to nearest dwelling
- located beside pedestrian pathway on well used route
- to comprise at least 8 type of play equipment:
to stimulate rocking, touch, social or developmental play (1) / to facilitate sliding, swinging, moderate climbing (2) to encourage either more-adventurous climbing, single-point swinging, balancing, rotating or gliding (5, where min. 3 is individual item)
- to contain seating, litter bin, cycle parking
- fence of min. 1m height around the activity zone



Neighbourhood Equipped Area for Play
image by Playdale

LEAP
Local Equipped Area for Play

- situated within 5 minutes walk from home
- for children from 4-8 years of age
- min. 400m² activity zone
- min. 10m buffer zone to nearest dwelling and min. 20m to habitable room facade; no equipment overlooking nearby gardens
- located beside pedestrian pathway on well used route
- to comprise at least 5 type of play equipment each to stimulate one of the following activities: *balancing, rocking, climbing/agility, sliding, social play*
- to contain seating, litter bin
- fence of min. 1m height around the activity zone



Local Equipped Area for Play
image by Playdale

LAP
Local Area for Play

- situated within 1 minutes walk from home
- for children up to 6 years of age
- min. 100m² activity zone
- min. 5m buffer zone to nearest dwelling including planting area, overlooked by nearby houses
- located beside pedestrian pathway on well used route
- to comprise at least 5 type of play equipments each to stimulate one of the following activities: *balancing, rocking, climbing/agility, sliding, social play*
- to contains seating
- fence of min. 0.6m high around the perimeter



Local Area for Play
image by Playdale

Figure 3.4
Areas for Play

Open Space Provision

Based on the provision of **800 dwellings**, and the assumed average household size of **2.4 persons per household** (taken from the LDF SPD: *Developer Contributions and Planning Obligations Supplementary Planning Document - December 2013*) resulting in approximately **1,920 residents**, greenspace requirements for the site is as follows:

- **Natural & Semi-Natural Green Space** - 240m²/dwelling x 800 dwellings = **192,000m²** (All residents should live within 300m of an area of between 0.2 ha and 1ha in size.)
- **Amenity green spaces** – 14.4m²/dwelling x 800 dwellings = **11,520m²**
- **Provision for children & young people** – 18m²/dwelling x 800 dwellings = **14,400m²**
- **Outdoor sports facilities** – 52.8m²/dwelling x 800 dwellings = **42,240m²**
- **Allotments & community gardens** – 12m²/dwelling x 800 dwellings = **9,600m²**

Total Minimum Open Space Area = 269,760m² (26.976ha)

Based on the guidance provided within these LPA documents, as well as other recognised guidance such as the national playing fields association document ‘*Six Acre Standard*’, that sets out best practice for open space within new housing developments, the play and recreation facilities within the site shall take into consideration the following:

Equipped play areas including activity and buffer zones:

Neighbourhood Equipped Play Areas (NEAPs) These should ideally have a catchment area of 1200m or 15 to 20 minutes walk;

Locally Equipped Play Areas (LEAPs). These should ideally have a catchment area of 480m or 5 minutes walk.

Schools may also have play facilities incorporated that may be utilised by the community.

Natural play incorporated into open space potentially linked to form ‘playful trails’;

Provision of surfaced areas for informal ball games and wheeled play and artificially surfaced areas for more formal sport or active uses;

Seating, litter bins and shelter;

Teenage meeting/social area(s);

Grass pitches and formal sports facilities, ideally with a catchment area of approximately 1200m or 20 minute walk;

Looped walking and jogging trails with potential to include trim trail equipment;

Natural and semi-natural areas, including wildlife habitats and nature reserves;

allotments and community gardens including fencing, water supply and cultivation; and

Landscaped areas of amenity open space.

FORMAL PLAY

The site will include a number of spaces incorporating formal play features and equipment.

Play features will include a combination of man-made structures and natural play features.

Play features will focus on a materials palette coordinated with a holistic site wide design approach. e.g. timber, concrete, stone and steel

Trim trail equipment is proposed along the route of the 5km jogging trail to promote usage and health and well-being for the community.



INFORMAL PLAY AND RECREATION

The site will provide amenity spaces for informal recreation and play.

These spaces will be primarily defined by landform and vegetation and include features such as terraces, mound and hills

“Playful Trail” created through inclusion of natural play elements along a pathway or trail including: Earth mounding, boulders, logs/tree trunks, willow structures. These elements may be grouped together in pockets along the route so that children and families may discover these as they explore the pathway or trail promoting physical activity and fun.



Figure 3.5
Open Space Provision

THORESBY VALE, EDWINSTOWE

3.0 Landscape Masterplan

3.3 Planting Strategy

A robust planting strategy scheme is required to ensure the development has themes which accord with both the local setting and the wider indicative development framework plan area.

New tree planting should include a high percentage of native species across the development. Heavy standard trees should be used within the site to create focal points, mark entrances and junctions. Tree species should be selected to be appropriate to the setting e.g. Avenue Trees or Public Open Space trees. Within the Green fruiting trees could be specified to provide seasonal colour and fruit.

Shrub varieties should be chosen to have year round interest, inform, texture and colour. Ornamental varieties as, normally found in a domestic setting, should attract insects and birds. All of the landscape features should be actively managed, after the development is complete, to ensure that the overall landscape structure remains viable in the long term. Seasonal planting including meadow grassland and bulb planting could provide seasonal interest and assist with a changing character of the Development throughout the seasons.

Key

- Existing Vegetation Retained
- Native Woodland - High density Climax Species
- Native Woodland - Low density Pioneer Species
- Formal Tree avenue (roadside)
- Acid grassland - refer to restoration plan
- Heathland - refer to restoration plan
- Marginal and Aquatic
- Meadow grass
- Amenity Grassland
- Ornamental Planting (development areas)

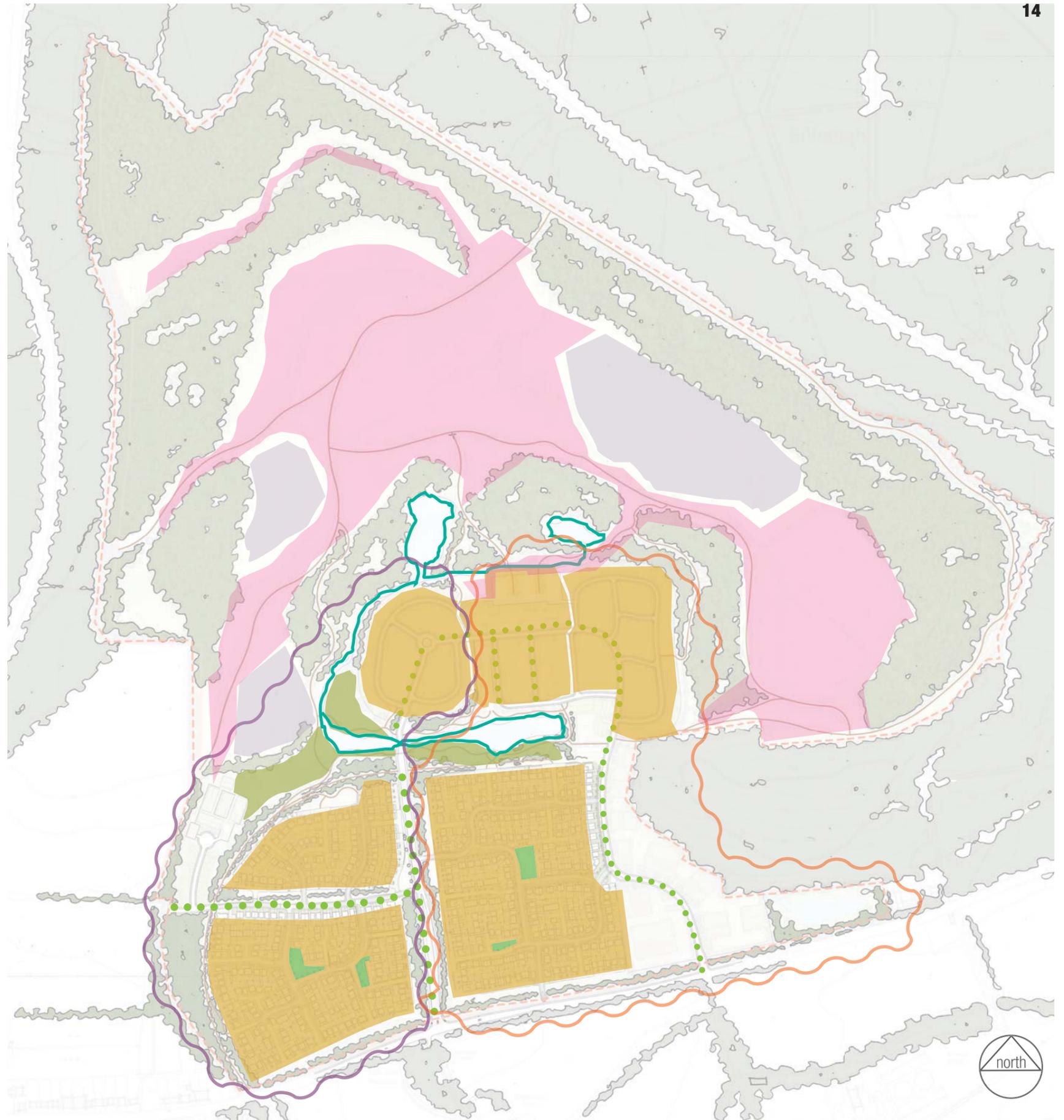


Figure 3.6
Planting Strategy

3.3 - Planting Strategy

EXISTING VEGETATION

Existing vegetation to be retained and enhanced where possible. All retained vegetation will be managed as part of an ongoing landscape management program.



TREES AND WOODLAND

All tree species will be UK natives or those which have become naturalised. Tree groups will be planted as standards with clear stems to retain good line of sight and security. Specimen trees will be planted as single specimen or in formal lines or grids to express an increase in formality to a space, edge or junction



HEDGEROW AND HEDGEROW TREES

A native hedgerow will be used to delineate and provide visual containment and provide visual containment. Clear stem specimen trees will be planted within the hedge to soften the built form beyond whilst retaining visual permeability and natural surveillance across the park. Specimen trees may also assist demarcation of access points



MEADOW GRASS

Species rich meadow grass will be the primary vegetation cover. An appropriate species mix will be chosen in response to analysis of the existing soils. A management regime will be developed in collaboration with the specialist supplier of the grass seed for the site.



MOWN GRASS

Regularly mown amenity grass will be utilised;-
 - to create clean verges to all circulation routes
 - to define landform features
 - for formal and informal play areas
 - bulb planting will be used to add seasonal interest



MARGINAL AND AQUATIC

Native marginal and aquatic planting shall be used to create important wildlife habitats within and alongside water features. Planting shall soften the appearance of water feature treatment part of the site wide SUDS system.



Figure 3.7
Planting Strategy

4.0 Landscape Character Areas

Landscape Character Areas

The landscape strategy and character types of the streetscape, green spaces and gateway spaces are fundamental to the place making and vision for the proposed development.

Each area of the site will be laid out to have a clear hierarchy of landscape character. These will create identifiable areas that have their own unique character (genius loci - "spirit of place"), while also ensuring are appropriate to the proposed use and local landscape character of the area.

Creating character zones, whilst at the same time creating a cohesive framework, will help to promote legibility by providing recognisable routes, intersections and landmarks to help people find their way around.

The adjacent diagram shows that the landscape masterplan is split into seven distinct character areas. Each character area and the associated design principles are described in more detail over the following pages.

DESIGN PRINCIPLES

The primary design principle is to create a verdant, visually cohesive framework with a wealth of recreational opportunities promoting engagement with the wider community. This will be achieved through:

- The creation a rich and varied landscape framework set within the context of the existing landscape setting;
- Maximise the existing landscape assets;
- Provision of a high quality public realm;
- Linking spaces to encourage movement on foot and cycle and to aid legibility;
- Provision of a range of recreational and play opportunities which can adapt over time;
- Creating accessible amenity space; and
- Provide opportunities for wildlife to move through the development.

Landscape Character Area Descriptions

1 Country Park - Restoration Area

The area existing spoil heaps to the north of the site is already subject to a detailed restoration scheme that has been agreed with Nottinghamshire County Council. This restoration will include the creation of a variety of habitats to increase biodiversity and provide amenity space, including heathland, grassland and woodland.

2 Woodland Edge

Centred along the disused railway line, this green space will echo reflect the existing native forest planting within the local landscape, reinforcing the local and wider landscape character as well as creating a sense of natural enclosure. The route of the railway line provides opportunities to improve access for pedestrians and cyclists, as well as the inclusion of amenity facilities such as play space, seating of wildlife interpretation.

3 Site Frontage & Entrance Road Gateway

The entrance to the site provides an opportunity to introduce users to the concept of the development and reflect the character areas within the site. A bespoke entrance feature will act as a distinctive gateway into the development drawing influence from both the industrial heritage and the surrounding landscape character areas.

4 Village Centre

The village centre will draw upon the cultural heritage of the colliery and its historic and industrial character, including the retained key buildings.

5 Employment Area

The employment area will benefit form a public realm scheme that aims to soften the impact of larger development units, which providing a cohesive streetscape.

6a 6b 7 Residential Areas

Both green routes and stand alone 'incidental' green spaces will be located within the residential areas. The local character of the sandstone forest and heathlands as well as the colliery restoration will influence these spaces creating a more 'open' character.

THORESBY VALE, EDWINSTOWE

4.0 Landscape Character Areas

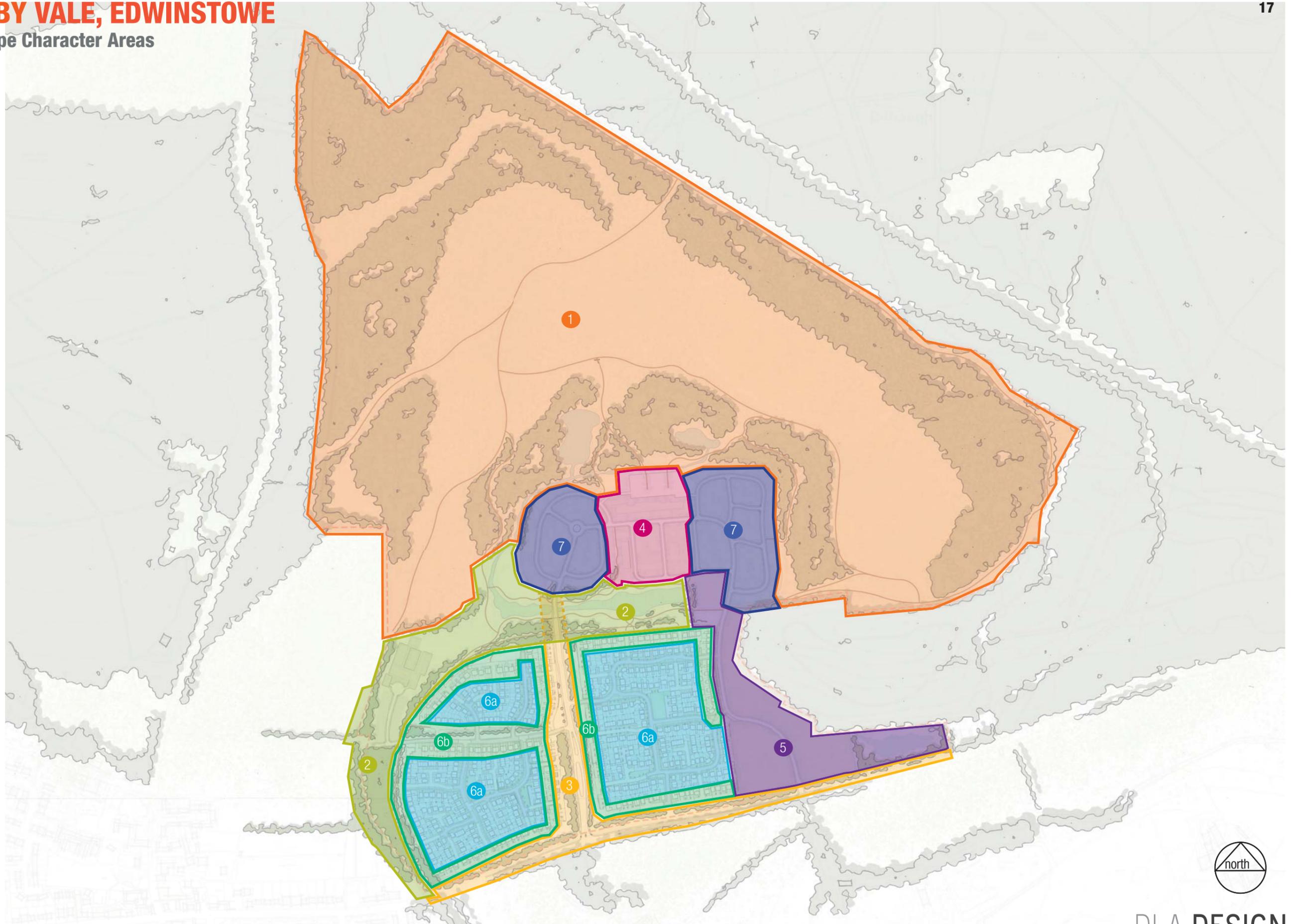


Figure 4.1
Landscape Character Areas



4.1 Zone 1 - Country Park - Restoration Area

The existing spoil heap area to the north of the site is already subject to a detailed restoration scheme that has been agreed with Nottinghamshire County Council.

This restoration will include the creation of a variety of habitats to increase biodiversity and provide amenity space, including heathland, grassland and woodland.

Due to the raised topography created by the spoil heaps, a natural viewing area to, and across, Sherwood Forest is created, as well as physical connections through footpath and cycle paths linking to the Public Right of Way network and to the new Sherwood Forest visitor centre.

Figure 4.1.1

Precedent Images - Character

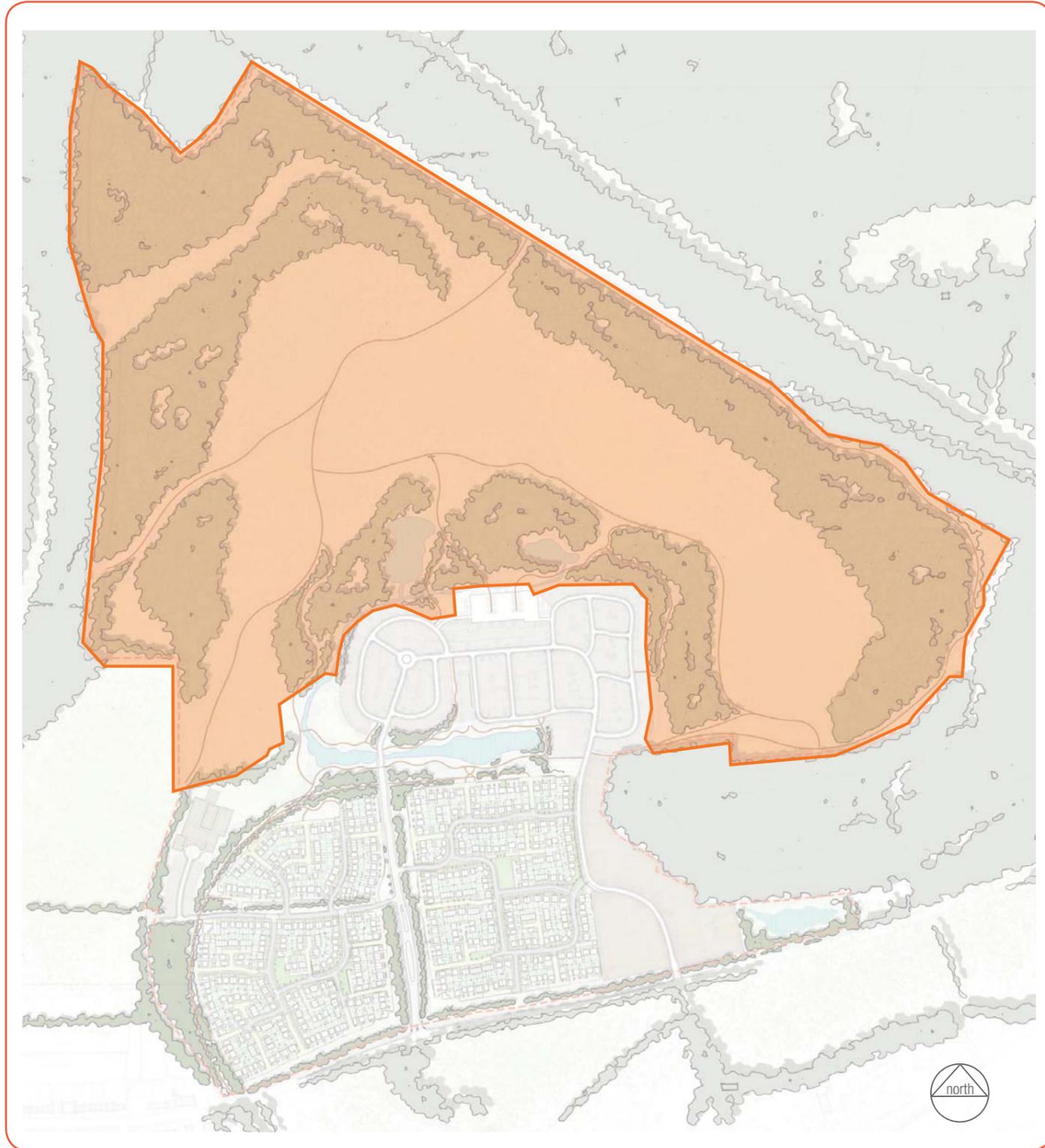


Figure 4.1.2
Zone 1 - Country Park - Restoration Area

4.0 Landscape Character Areas

4.1 - Zone 1 - Country Park - Restoration Area

Country Park Restoration Plan:
Thoresby Colliery Design and Access Statement , December 2016

LEGEND:

-  Plot Boundary
-  Major Road
-  Existing Woodland
Other Planting
-  Local Nature Reserve
-  Existing Restoration Woodland Planting
-  Acid Grassland
-  Heathland
-  Woodland Planting & Wood Pasture
-  Existing Manage Woodland
-  Himalayan Balsam in Cockglode Wood
-  Existing Manage Woodland

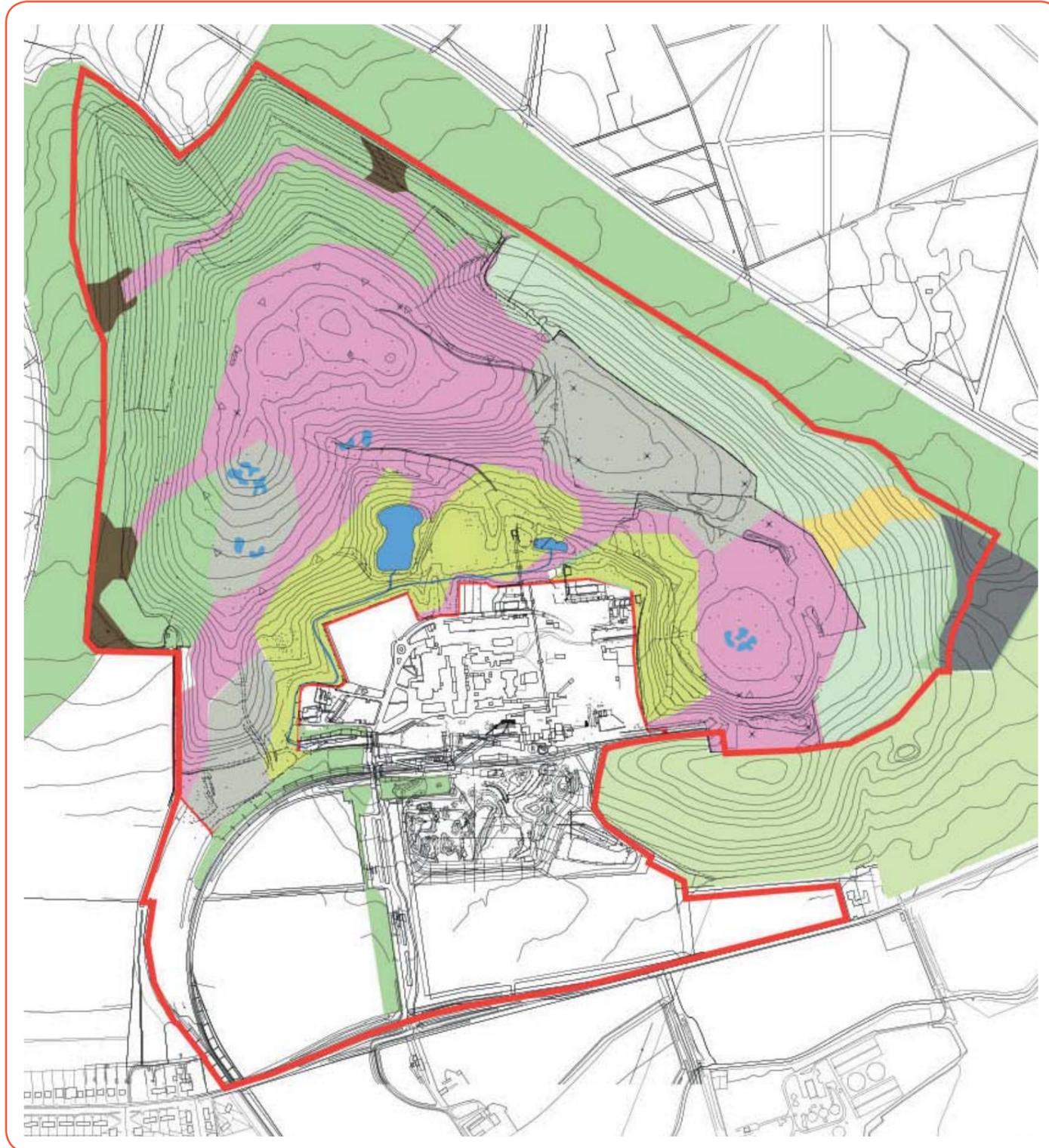


Figure 4.1.3
Restoration Plan

4.0 Landscape Character Areas

4.2 - Zone 2 - Woodland Edge

The 'Woodland Edge' character area forms the western and northern boundary of the southern parcel of the site. The green space is has been formed by a now derelict railway cutting to the west and a balancing lagoon to the north. Self-seeded trees and unmanaged grassland form the basis of the existing soft landscape.

The route of the railway line provides multi-functional opportunities to improve access for pedestrians and cyclists, as well as the inclusion of amenity facilities such as play space, seating of wildlife interpretation. Whilst level changes between the railway line and the proposed development vary, accessible footpath connections will be provided to the surrounding residential development at various locations along its length creating key nodes. The route will also create a traffic free connection between the existing settlement of Edwinstowe and the village centre of the new development. Features and signage will be used to aid wayfinding.

A combination of a management plan for the existing vegetation supplemented with new tree and edge mix planting will help connect the 'Woodland Edge' to the existing native forest planting within the local landscape, reinforcing the local and wider landscape character as well as creating a sense of natural enclosure.

A large amenity space drawing upon the proposals for the Country Park to the north and including a large lake for water based activities. The lake will form part of the site drainage strategy and will act as a central amenity space where the community can interact with the natural environment.

The eastern edge of the character area will provide a seamless transition to the western edge of the residential development, helping blend the amenity space with the build development and properties orientated to maximise connectivity with the semi-rural aspect.

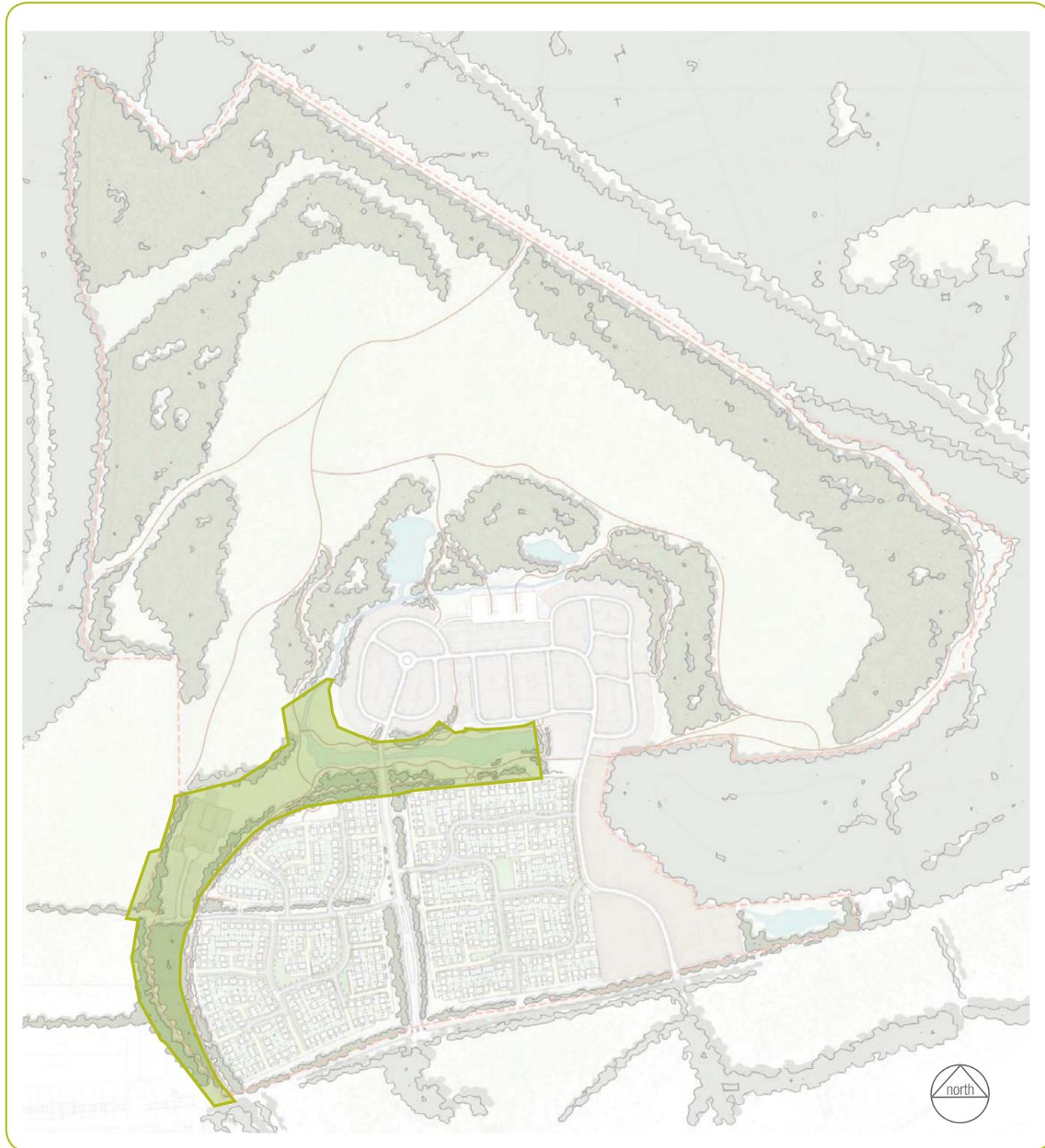


Figure 4.2.1
Zone 2 - Woodland Edge

4.0 Landscape Character Areas

4.2 - Zone 2 - Woodland Edge



Figure 4.2.2
Zone 2 - Woodland Edge

4.0 Landscape Character Areas

4.2 - Zone 2 - Woodland Edge

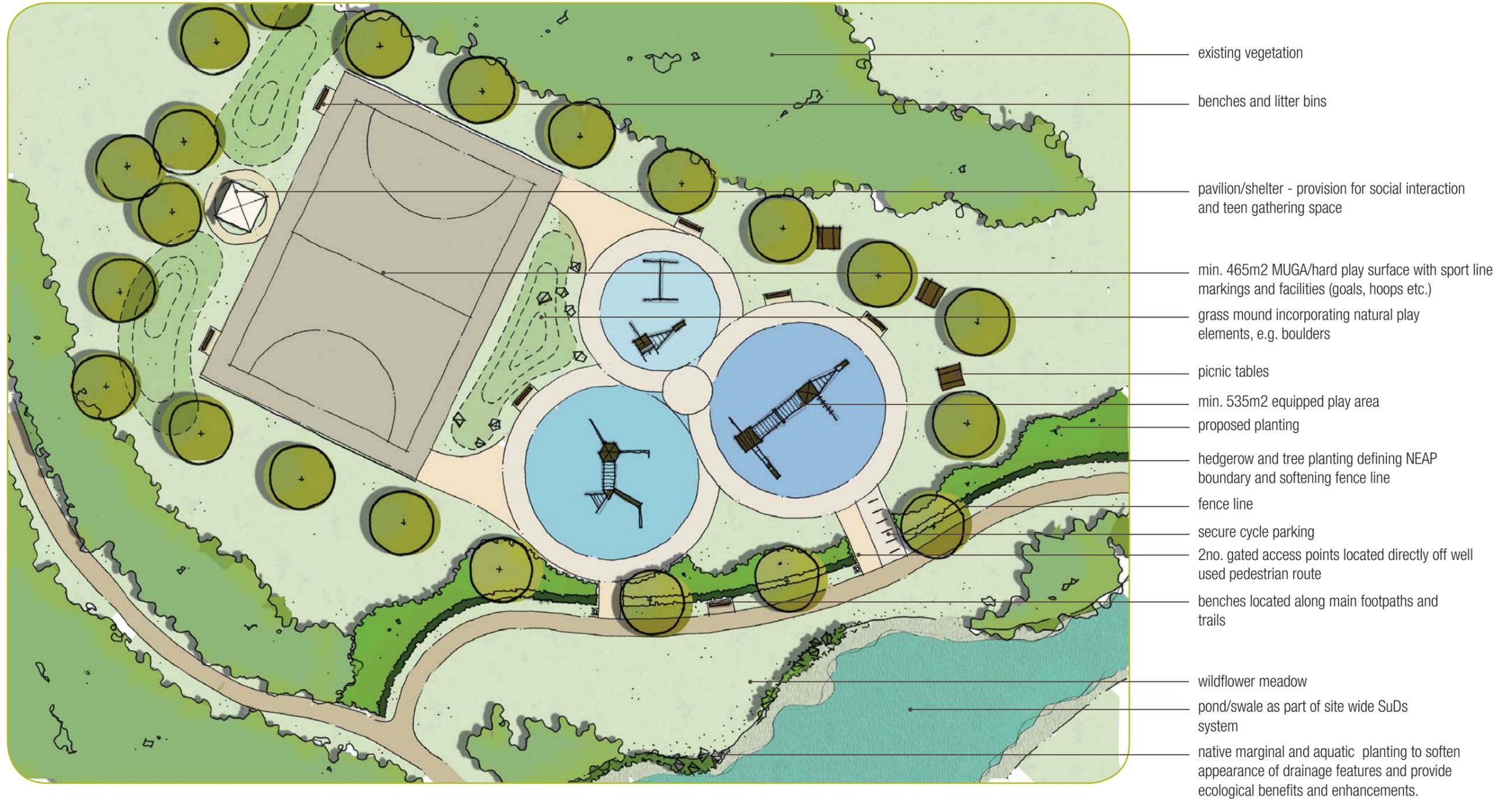


Figure 4.2.3
Detail Plan A
Neighbourhood Equipped Area for Play (NEAP) as outlined within section 3.2

4.2 - Zone 2 - Woodland Edge

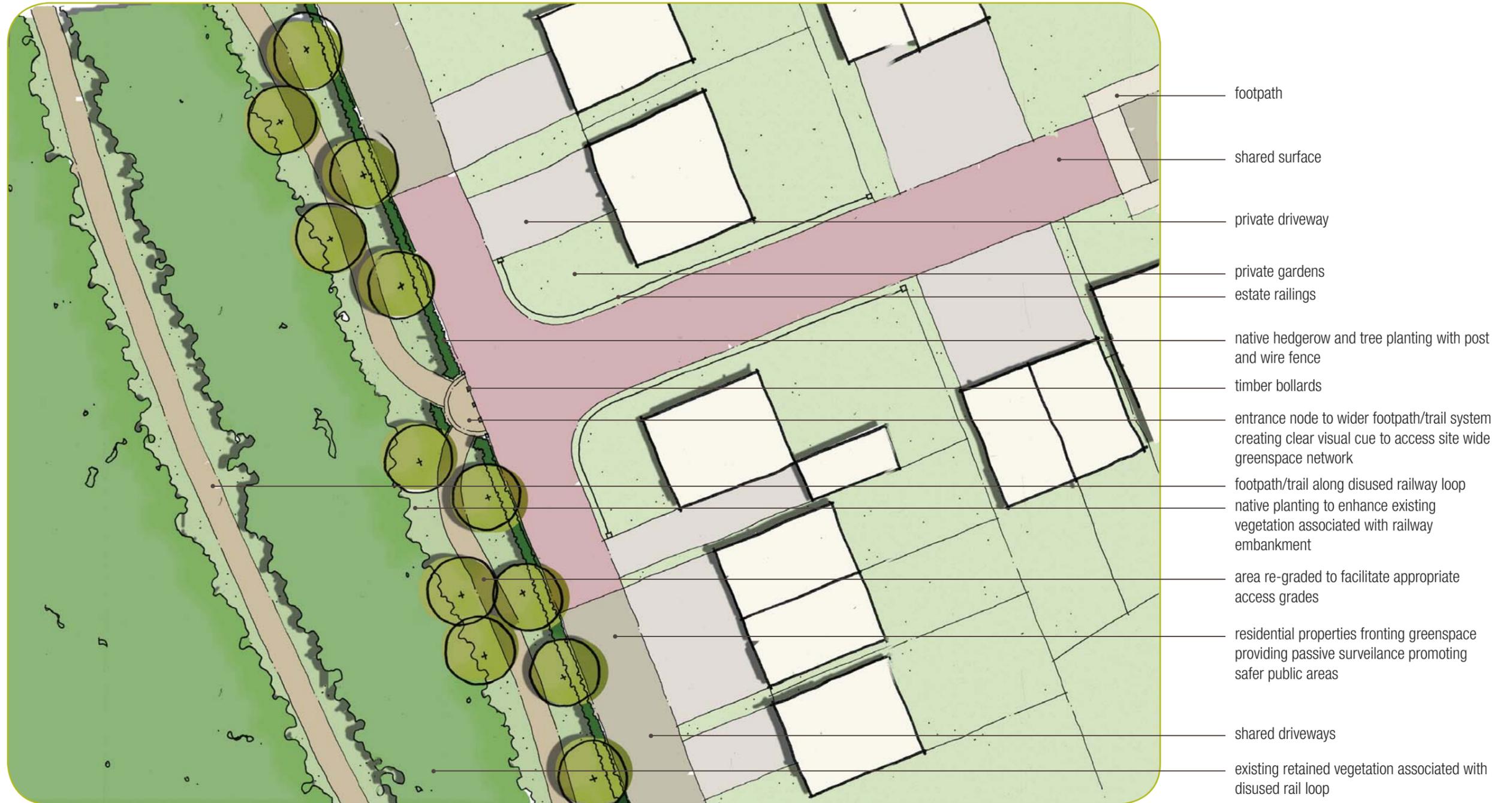


Figure 4.2.4
Detail Plan B
Pedestrian and cyclist entrance node to footpath/trail system

4.2 - Zone 2 - Woodland Edge

Figure 4.2.5
Section A-A

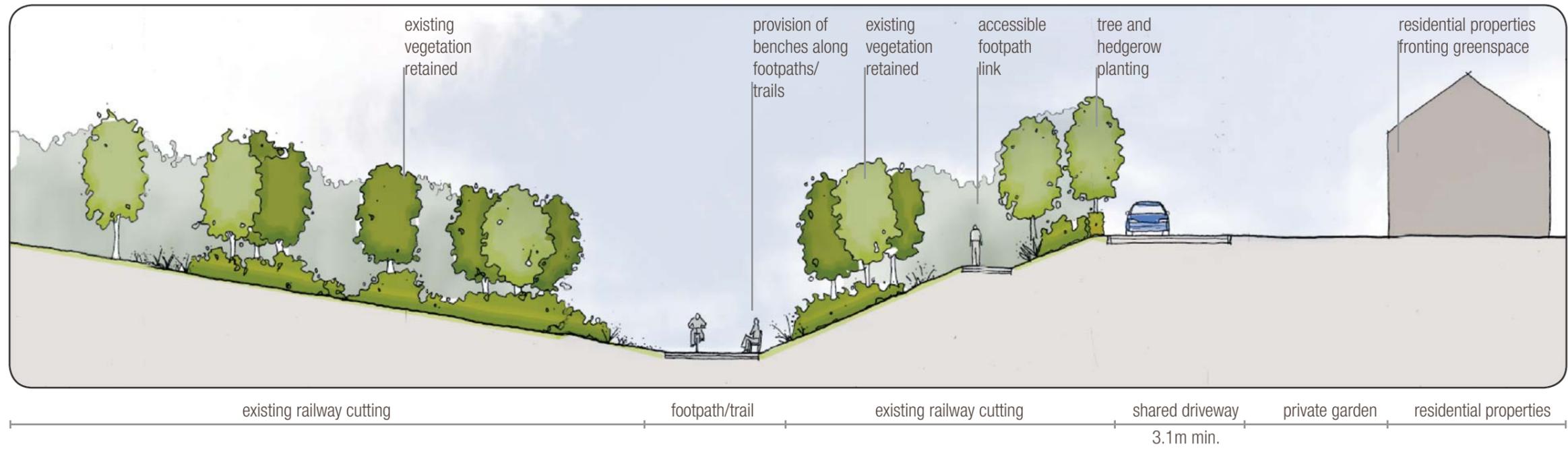


Figure 4.2.6
Precedent Images - Character



4.0 Landscape Character Areas

4.2 - Zone 2 - Woodland Edge

Soft Landscape Palette

Existing Trees

The existing trees in the woodland edge will be retained where possible and the landscape setting enhanced with new tree planting interventions.

Specimen Trees

Specimen trees will create features at key gateways

Woodland Planting

Native woodland mix planting will be used to enhance existing woodland areas and replace

Native Hedgerow

Native hedgerow planting will be included to define boundaries and screen views where appropriate

Marginal and Aquatic Planting

Marginal and aquatic planting will be applied where appropriate to areas of open water, subject to ecologists recommendations

Wildflower Meadows

Meadow grass with mown edge along footpath links



Figure 4.2.7
Soft Landscape Palette

4.2 - Zone 2 - Woodland Edge

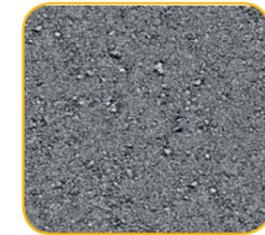
Hard Landscape Palette

Surfaces

Footpaths will be surfaced in asphalt concrete or self binding gravel.

Furniture

A timber street furniture palette will be applied throughout the woodland edge landscape areas. Robust materials will be used with corten wayfinding features to tie into the wider industrial material palette.



Asphalt Concrete



Self binding gravel

Surface Materials



Timber seating terraces



Robust natural appearance timber bench with backrest along paths



Timber bollards

Street Furniture



Timber Bins



Corten Steel signage with engraved wayfinding information



Simple black asphalt concrete. To be used for primary routes



Retainig walls including stone filled gabion baskets echoing colliery landscape

Figure 4.2.8
Hard Landscape Palette

4.0 Landscape Character Areas

4.3 - Zone 3 - Site Frontage & Entrance Road Gateway

The primary access to the development is taken from Ollerton Road and utilises the existing road which once formed the main access for Thorseby Colliery providing a significant asset for the new development. The road is lined with a belt of evergreen pine trees on either side which creates a strong avenue and setting for access to the new development.

A gateway feature has been designed, taking reference from the historic use of the site, to create a strong identity for the new development.

The existing pine trees will be retained and the landscape setting enhanced with new planting interventions and swathes of bulb planting to provide late winter and early spring colour.

The existing hedges that currently form the southern boundary, parallel with Ollerton Road, will be retained. Beyond the hedge an area has been identified for stormwater attenuation, which will consist of a wide area of semi-natural grassland, with intermittent swales and dry basins. Grass mixes will be selected to ensure the species are appropriate to the ground conditions.

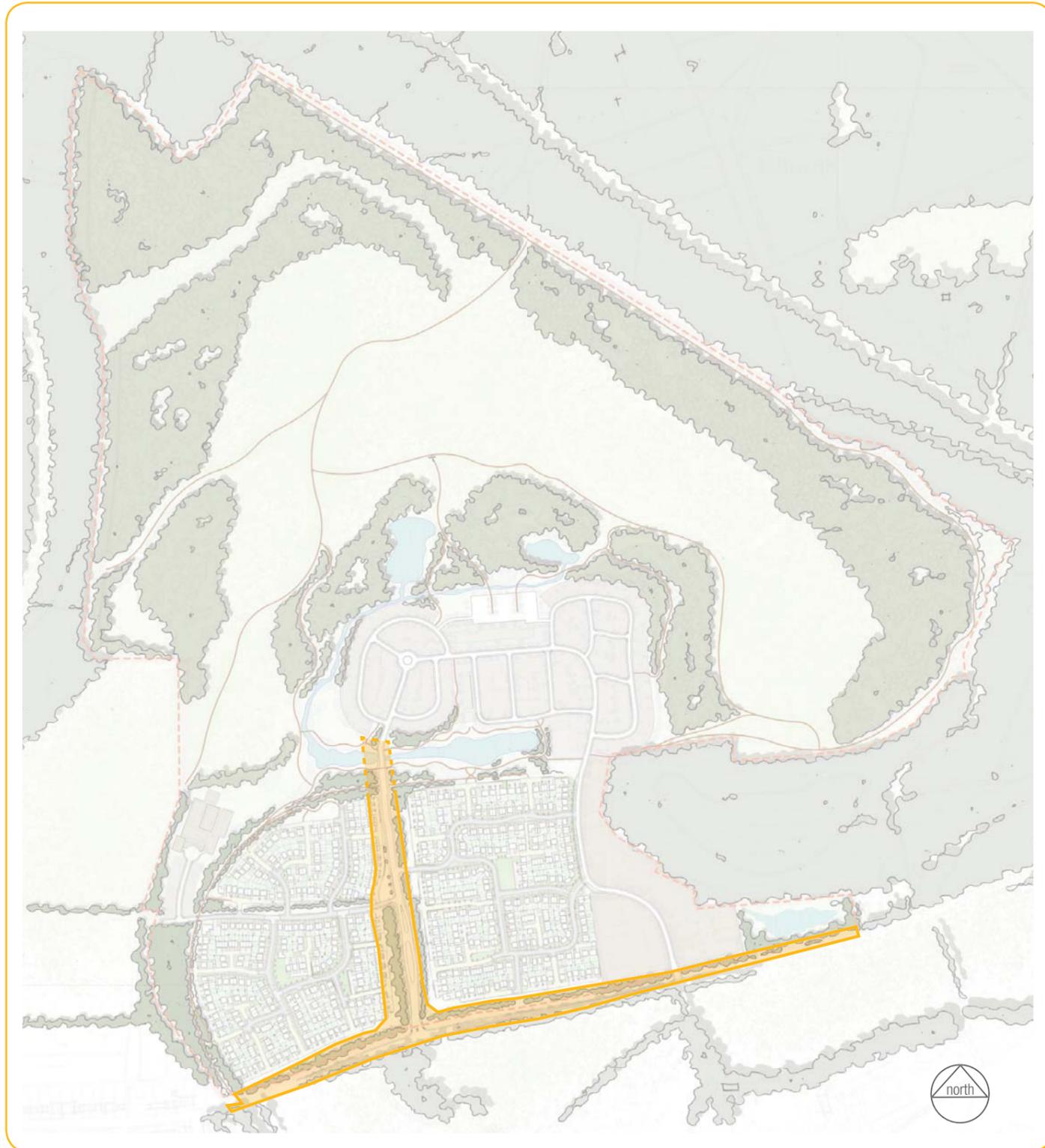
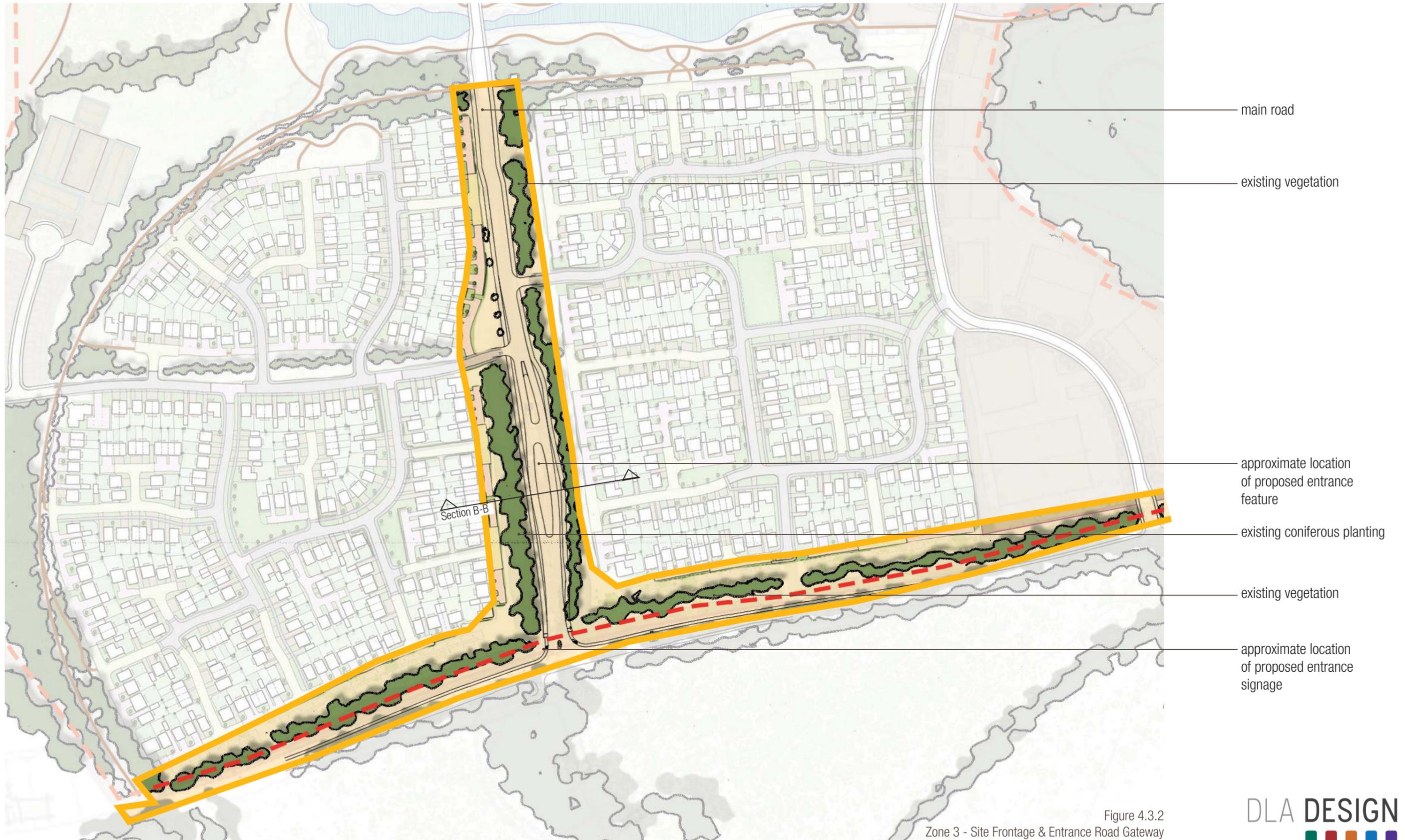


Figure 4.3.1
Zone 3 - Site Frontage & Entrance Road Gateway

4.0 Landscape Character Areas

4.3 - Zone 3 - Site Frontage & Entrance Road Gateway



4.3 - Zone 3 - Site Frontage & Entrance Road Gateway

Entrance Feature Concept

The concept for the entrance feature has been developed to create both a gateway to the development and sense of arrival at the junction with Ollerton Road.

The primary feature, which will be located on the existing road island which is set back from the junction with Ollerton Road, combines a historic reference to the previous use of the site whilst creating a bold contemporary form, reflecting the ambitious vision for the wider development.

The historic connection takes reference from the fact the Thoresby Colliery was the first pit in the country to be built with electric winding towers. This important milestone in the colliery's history is reflected as a simple silhouette in the bold sculptural form, created from cor-ten steel which relates to the industrial past. The winding wheel itself is manifested through a contemporary kinetic circular form which will radiate a sense of energy and vitality, signifying a new vibrant future for the colliery site and Edwinstowe.

The main central feature will be framed at the junction with Ollerton Road through the construction of 'wing walls' at either side of the entrance road. The dry-stone walls will be 'book-ended' with smaller monolithic corten features in a form that mirror the main feature.

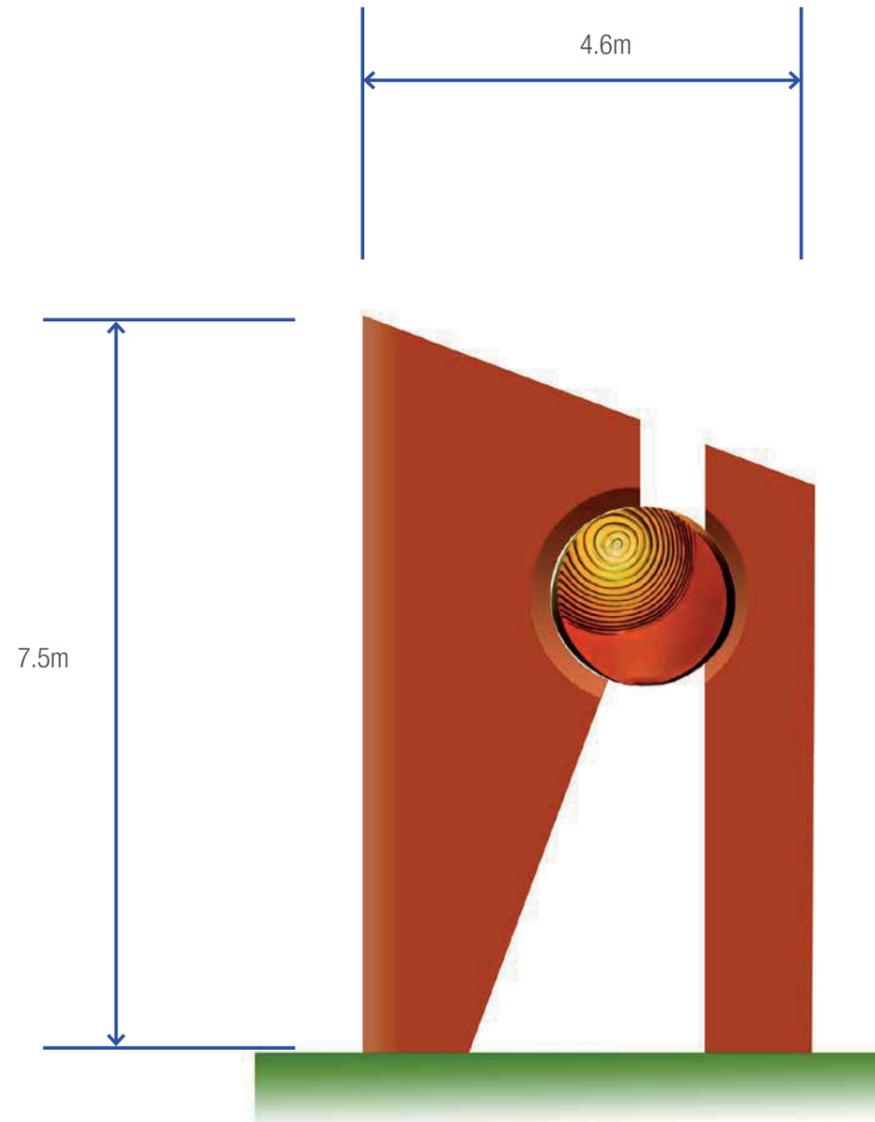
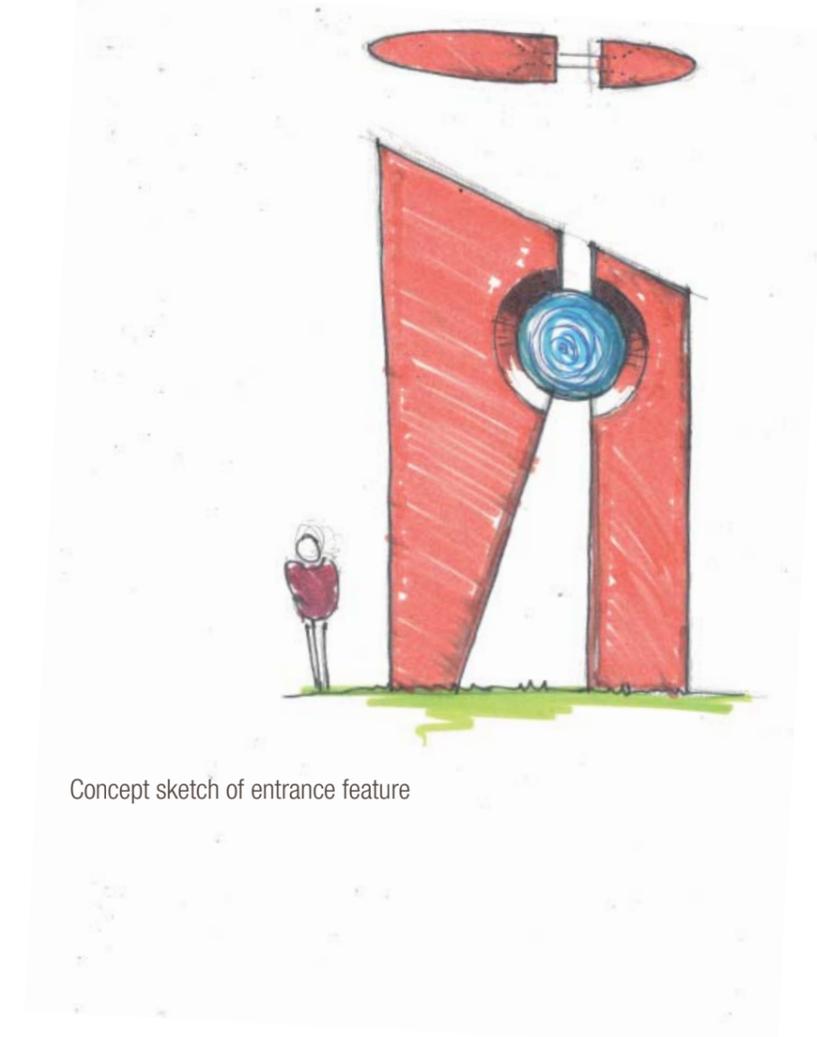


Figure 4.3.3
Entrance Feature



Photo of original two winding towers



Concept sketch of entrance feature

4.3 - Zone 3 - Site Frontage & Entrance Road Gateway

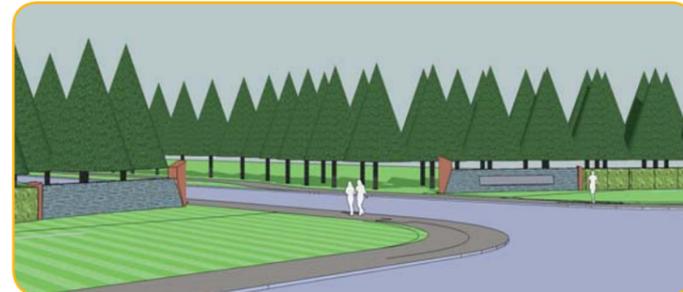
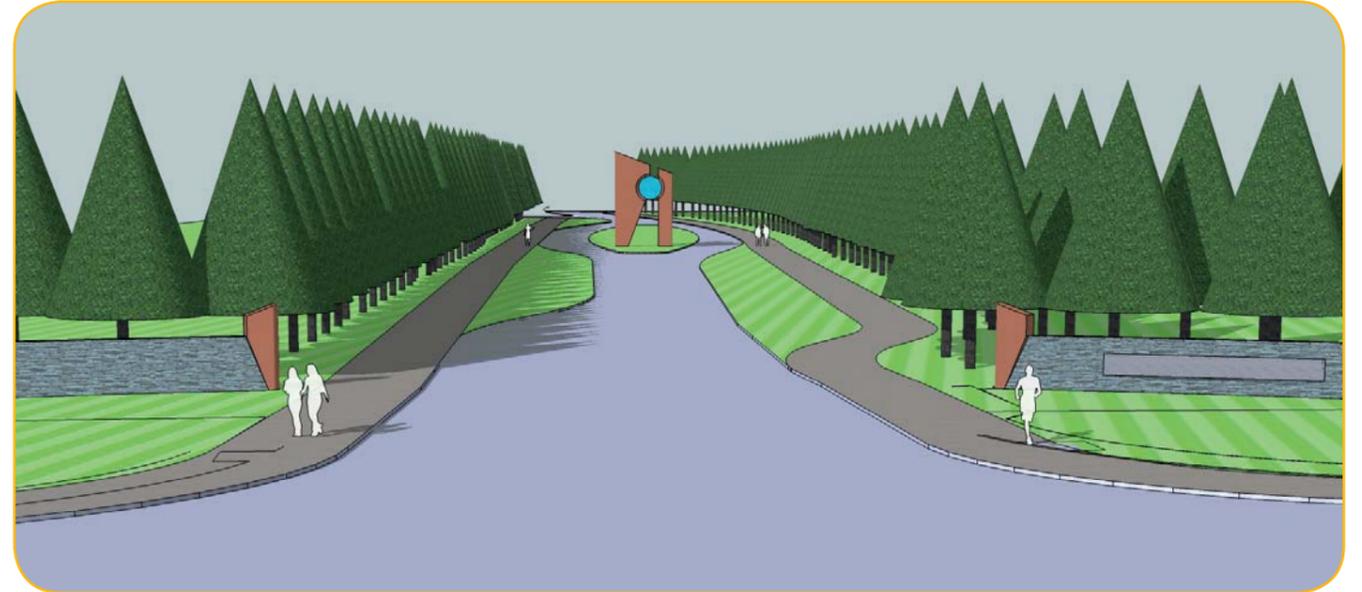
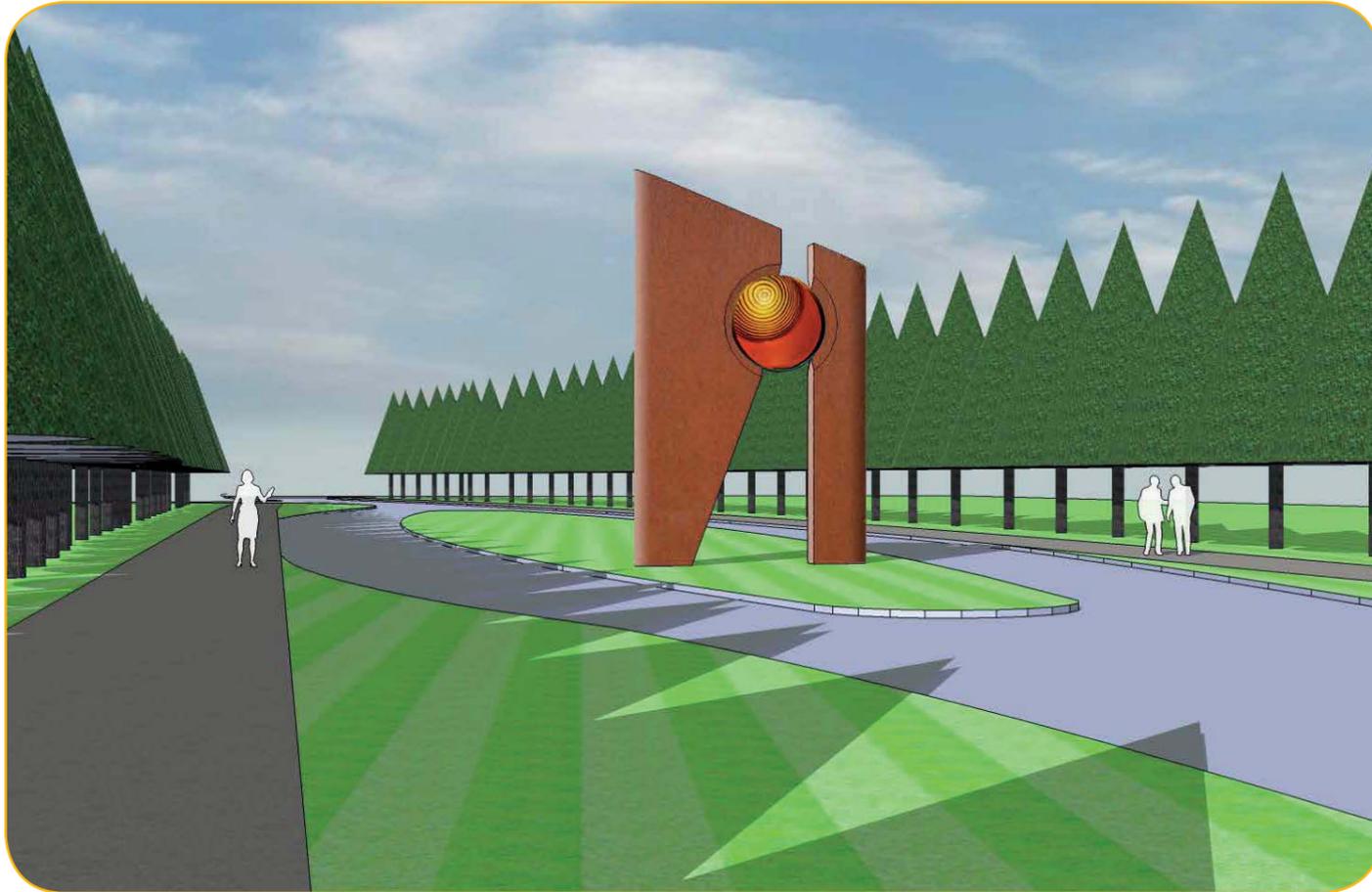


Figure 4.3.4
Gateway Feature Visualisations

4.0 Landscape Character Areas

4.3 - Zone 3 - Site Frontage & Entrance Road Gateway

Figure 4.3.5

Section B-B Through main entrance road and median

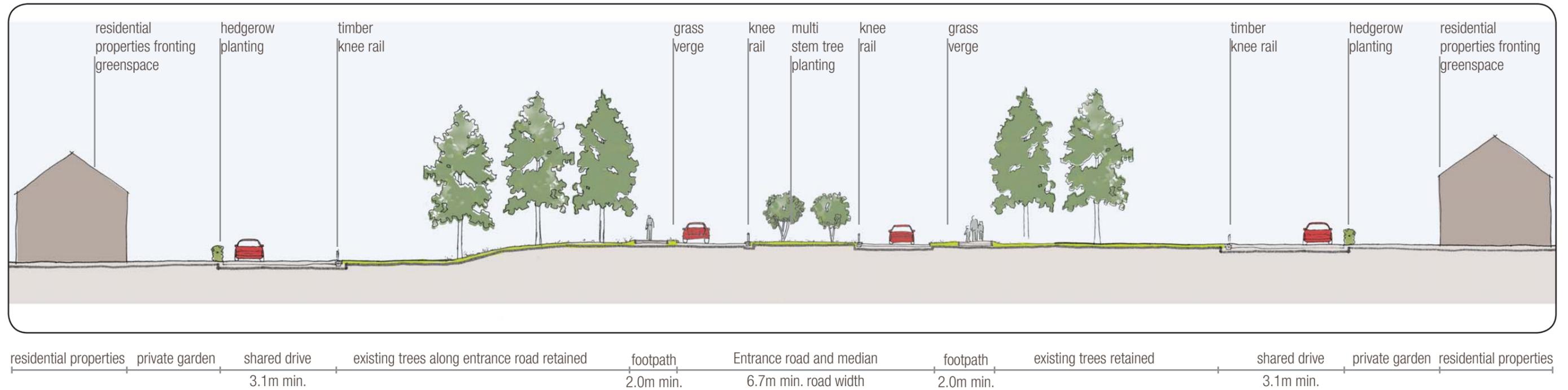


Figure 4.3.6

Precedent Images - Character



4.3 - Zone 3 - Site Frontage & Entrance Road Gateway

Soft Landscape Palette

Existing Trees

The former colliery access road is lined with a belt of evergreen pine trees on either side which creates a strong avenue and setting for access to the new development. The existing pine trees will be retained where possible and the landscape setting enhanced with new tree planting interventions

Specimen Trees

Structure tree planting along with Multi-stem specimen trees will create features at key gateways and enhance the existing avenue.

Hedgerow Boundaries

Semi evergreen hedgerow planting will be included to define boundaries

Ornamental Shrub Planting

Shrub planting will be included at gateways to footpath network and to provide structure to compliment the setting.

Bulb Planting

Spring flowering bulbs planted in bold swaites along main access road will provide colour and intrest throughout late winter and early spring



Figure 4.3.7
Soft Materials Palette

4.3 - Zone 3 - Site Frontage & Entrance Road Gateway

Hard Landscape Palette

Surfaces

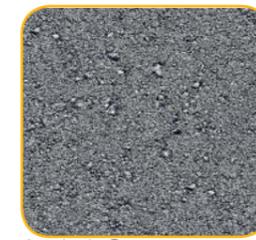
Feature paving will include sandstone sett paving with wide kerb edging. Footpaths will be surfaced in asphalt concrete.

Furniture

Timber post and powder coated steel low barriers will be designed to coordinate with the proposed entrance features. Robust bollards will be included where required to tie in with the material palette.

Gateway Features

Corten steel sculptural gateway features are to be included at the main entrance to the site. These will consist Corten steel wall piers with dry stone effect walling and stone name panel with stainless steel lettering. Ground recessed LED up lighting will potentially be included to illuminate key elements of the entrance features. Additional wayfinding will be included where required to match the materials of the gateway feature.



Asphalt Concrete



Self binding gravel



Sandstone setts



Sandstone kerbs

Surface Materials



Corten Steel with engraved wayfinding information



Corten and Timber benches



Corten Bollards

Street Furniture



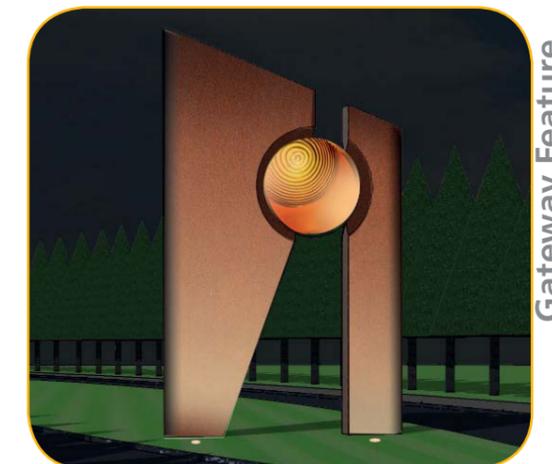
Stone Walling



Corten Steel



Stainless Steel Lettering



Gateway feature concept image

Gateway Feature

Figure 4.3.8
Hard Materials Palette

4.0 Landscape Character Areas

4.4 - Zone 4 - Village Centre

The village centre will draw upon the cultural heritage of the colliery and its historic and industrial character, including the retention of key buildings.

The opportunity to retain and refurbish the existing Welder's Workshop of the former colliery will ensure the village centre retains a strong identity and creates a sense of place for the new community. Possible new uses for the building include retail, café/bar, restaurant, gallery, community centre etc. which would form a focus for the development and a backdrop to the new public realm.

As the design for the village centre develops, and buildings and uses become clearer, the character areas will evolve also. The initial thoughts on the landscape character are broad and flexible enough to respond to design iteration.

At the heart of the 'Village Centre' materials should be selected that complement the industrial character of the retained buildings. Hard details will be developed that encourage a 'shared space' approach to movement corridors.

A small 'park' will be provided to create a focus for the new public realm and opportunities for community events.

Trees will be planted in a formal manner with new areas of shrub planting designed to complement the setting but in a contemporary manner. Materials selection and planting design will soften away from the heart of the village centre, with the palettes aiming to create a transition between the industrial setting and the wider rural woodland setting of the surrounding area.

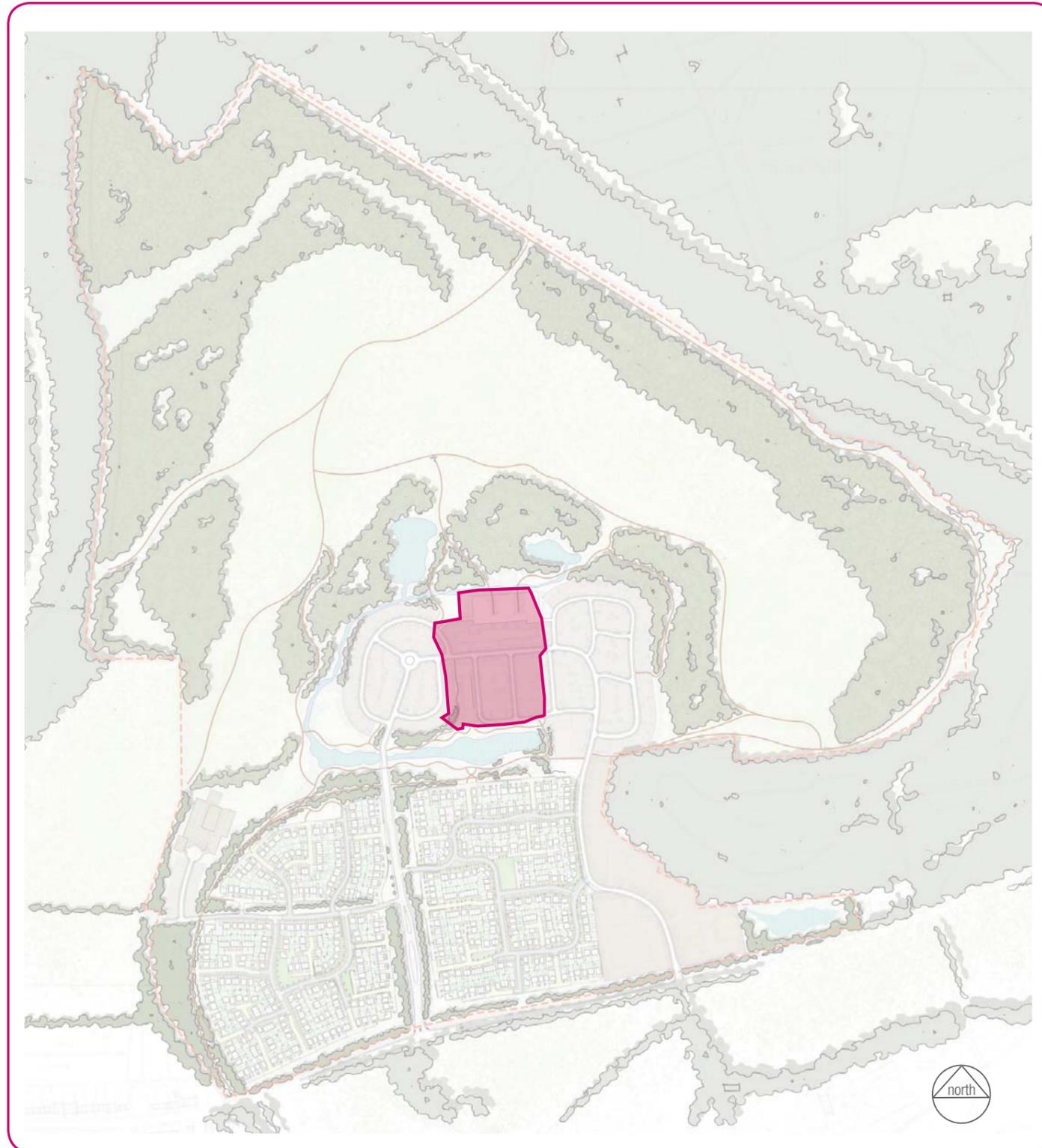


Figure 4.4.1
Zone 4 - Village Centre

4.0 Landscape Character Areas

4.4 - Zone 4 - Village Centre

THORESBY COLLIERY VILLAGE CENTRE

The opportunity to retain the refurbish the existing Welder's Workshop of the former colliery will ensure the village centre retains a strong identity and creates a sense of place for the new community. Possible new uses for the building include retail, café/bar, restaurant, gallery, community centre etc. which would form a focus for the development and a backdrop to the new public realm.

Based on the indicative outline masterplan layout, five main character areas have been identified within the proposed village centre. Design principles for the streetscapes and green spaces within these character areas have started to evolve, although further iteration will be necessary as market forces and the needs of the community are developed. Each area will be distinct in character, however it is important they are developed within a wider framework to ensure a cohesive scheme is ultimately achieved.

Initial proposals for the character areas thoughts on the initial character areas include:

'Welders Avenue'

Primarily consisting of amenities for the local community. Small shops, café/bar, restaurants etc and creating the potential for a flexible events space/community facility.

'Winding Square'

Could have an emphasis on the heritage, with the design and materials selected to reinforce this. The space could also be suitable for gathering and small community events.

'Power House Street'

A linear space, potentially a shared surface - providing circulatory access around the main centre and a visual link to the green corridor to the south.

'Thoresby Green'

Potentially could be either a hard to a soft space, or a combination of both. A protected, courtyard space that would have a more relaxed feel where community events could take place.

'Thoresby Gardens'

An area with a southerly aspect, overlooking the water, with the potential for a family friendly area and children's play.



- KEY
- Retained heritage building
 - New proposed buildings
 - Main road across development with public transport bus route - shared surface
 - One way road with mitigated vehicle access - shared surface
 - Character Areas
 - Welder's Avenue
 - Winding Square
 - Power House Street
 - Thoresby Green
 - Thoresby Gardens
 - Welder's Back
 - Parking in Landscape setting
 - Access to Country Park

Figure 4.4.2
Zone 4 - Village Centre - Detailed Area

4.4 - Zone 4 - Village Centre

Heritage Art Features

An important focus for the new development will be the opportunity to explore the relocation of the two winding wheel heritage public art, currently located at the entrance to the site, as part of the wider regeneration of the site.

It is acknowledged that the features are of local importance, holding cultural significance and personal memories for many. In particular, recognising that Thorseby Colliery was the first in the United Kingdom to be built with electric winding.

Recognising this value, initial proposals have been developed that provide options for the opportunities to relocate and reuse the wheels within the heart of the new development, ensuring that they continue to be a prominent feature within the new scheme, maintaining a reference to the historical industrial character of the site and reinforcing a sense of place within the heart of the new community.

One option to reuse the features would be to incorporate them as a unique element with bespoke bus shelters, creating a strong, sculptural element.

They bus stop's would be located in accessible high profile locations, thus ensuring the wheels are very much a focus within the scheme.

The initial concept idea suggests the wheels could be set within a monolithic seat housed within a covered structure. This reference to the past could be combined with a reference to the future through the provision on a green roof, emphasising the importance of environmental issues moving forward.

The pit wheels could potentially be repainted, black, both to accentuate the sculptural form of the pieces whilst emphasising the industrial heritage.



Figure 4.4.3
Heritage Art Feature



Bus shelter - potential extensive green roof



Concrete monolith wall with timber seat



Black coating to emphasize structure

4.4 - Zone 4 - Village Centre

Figure 4.4.4
Section C-C Village Centre

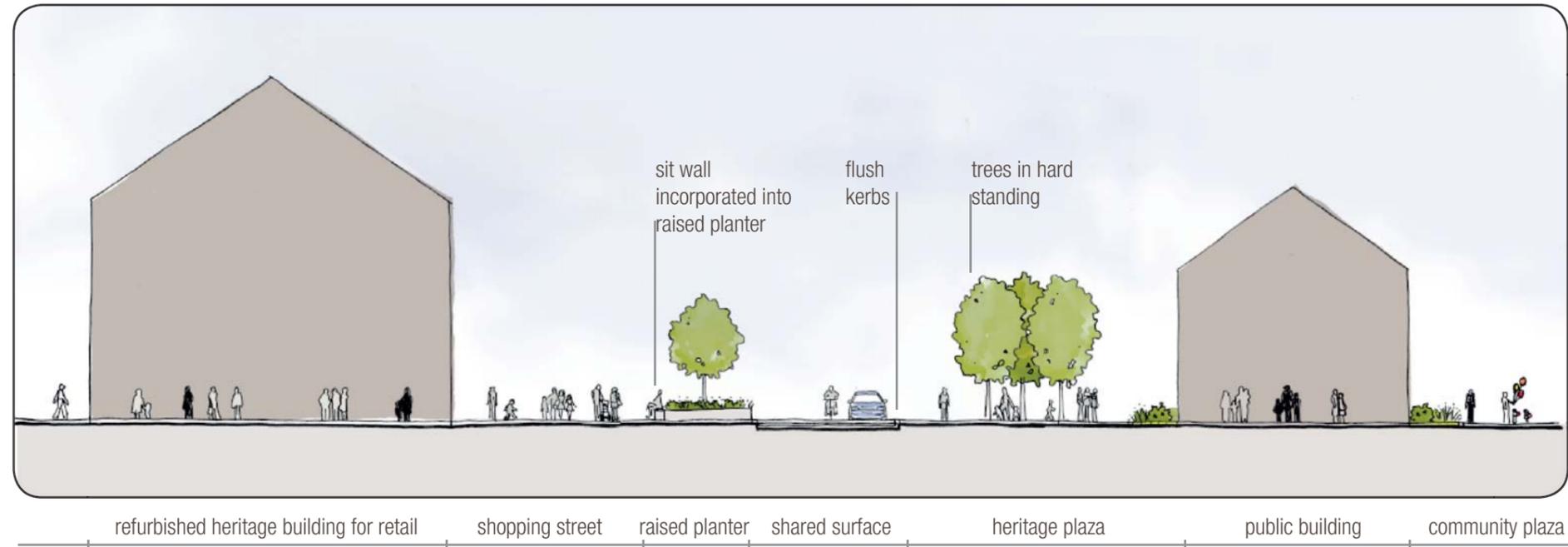
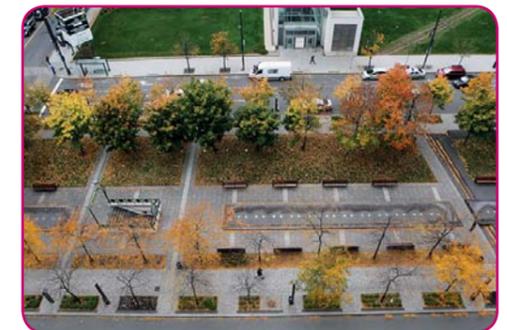


Figure 4.4.5
Precedent Images - Character



4.4 - Zone 4 - Village Centre

Soft Landscape Palette

Specimen Trees

Architectural specimen trees featuring vivid autumn colours.

Hedgerow Boundaries

Semi evergreen hedgerow planting will be included to define boundaries

Ornamental Shrub Planting

Low maintenance shrub planting consisting of evergreen species with mature height of 1m will provide backdrops to social spaces and robust ornamental borders.



Specimen Trees



Planting Beds



Hedge Planting

Carpinus betulus



Mown grass lawn



Meadow grass

Grass

Figure 4.4.6
Soft Landscape Palette

4.4 - Zone 4 - Village Centre

Hard Landscape Palette

Surfaces

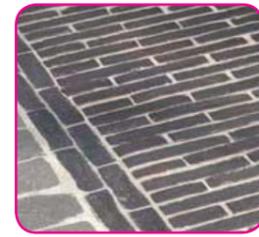
High quality feature paving will include natural stone and concrete sett paving with wide kerb edging. Footpaths will be surfaced in asphalt concrete or feature paving materials subject to locations.

Furniture

The proposed furniture palette will have a contemporary style influenced by the surrounding retained built form and former industrial uses of the site.

Gateway Features

It is proposed that the existing pit wheels are to be incorporated into the design of a gateway feature within the Village Centre.



Dark grey blocks laid flush in pedestrian areas



Light grey narrow blocks in contrasting laying pattern and finish



Mixed colours of setts to create visual contrast at areas to reflect heritage elements



Wide granite kerbs



Asphalt Concrete



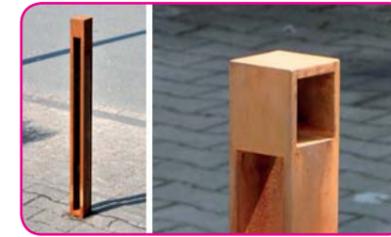
Corten Steel columnar lights



Corten Steel signage with wayfinding and precast concrete imprints



Corten Steel bollards



Corten Steel bin with timber panel



Cast concrete monolith benches with timber slats seating surface



Stone filled gabion baskets

Surface Materials

Street Furniture

Figure 4.4.7
Soft Landscape Palette

4.0 Landscape Character Areas

4.5 - Zone 5 - Employment Area

The 'Employment Area' is located at the south-eastern corner of the site. The area is dissected by a secondary access road taken from Ollerton Road, and therefore forms an important gateway into the development. The streetscape will be defined by a strong line of formal trees set within wide grassed verges to create an avenue into the site. Structure will be enhanced through the use of hedge planting to define the corridor and swathes of bulb planting to add seasonal variation.

Service yards for the buildings will be either to the side or to the rear of the buildings and separated by solid screens, softened with planting in front. A minimum 3m wide 'on plot' soft landscape margin will be provided to each unit to further enhance the road corridor and provide visual separation.

A minimum 6m wide planted buffer will be provided between the employment area and the adjacent residential development to provide visual and acoustic mitigation.

The access roads in to the residential plot will be defined through the selection of alternative tree species using form and leaf colour as visual markers.

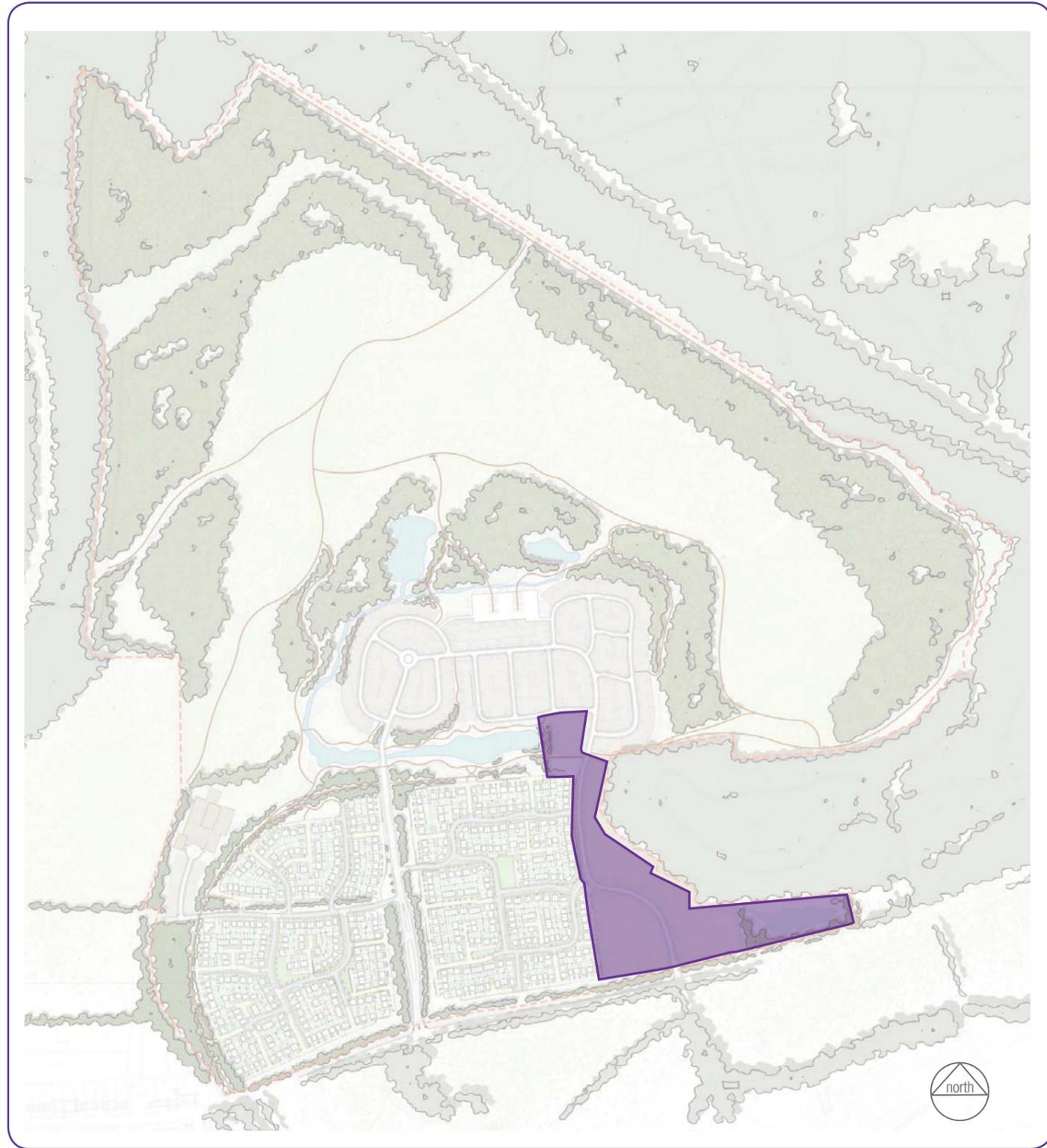


Figure 4.5.1
Zone 5 - Employment Area

4.0 Landscape Character Areas

4.5 - Zone 5 - Employment Area



Figure 4.5.2
Zone 5 - Employment Area

4.5 - Zone 5 - Employment Area

Figure 4.5.3
Sections D-D Employment area access road

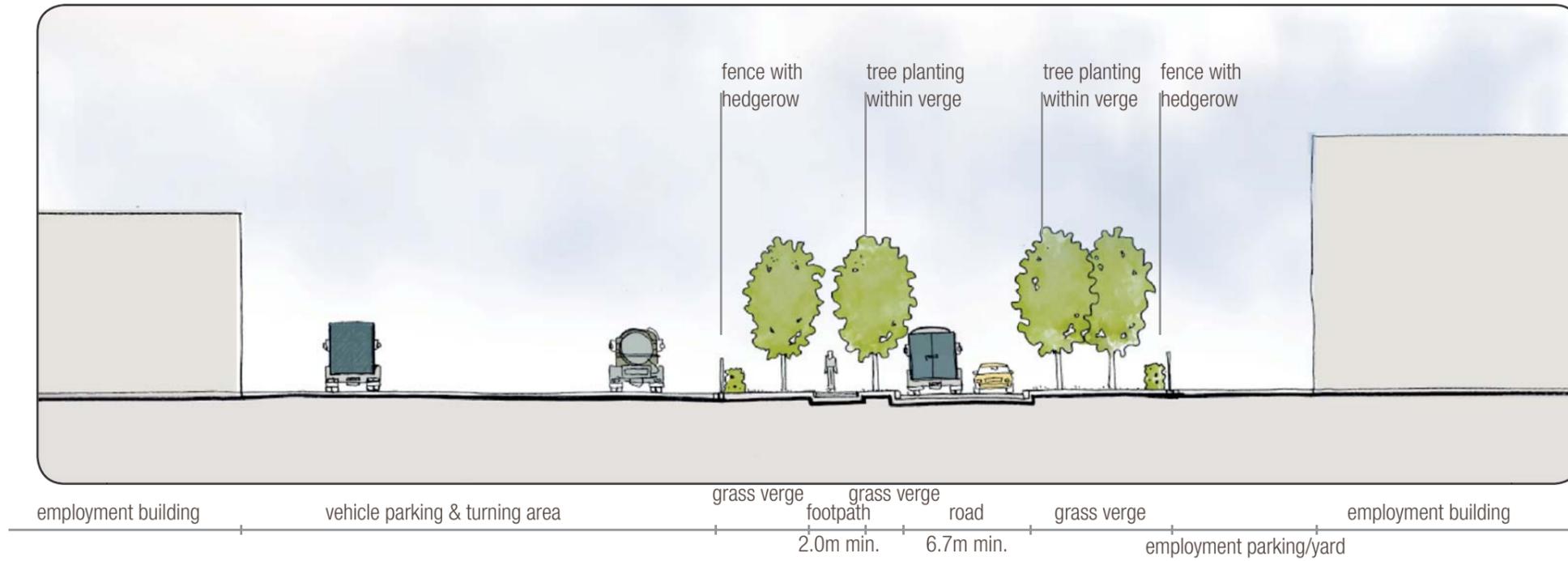


Figure 4.5.4
Precedent Images - Character



4.0 Landscape Character Areas

4.5 - Zone 5 - Employment Area

Detail Areas and Sections

Figure 4.5.5

Detail Plan A Landscape buffer between employment and residential areas



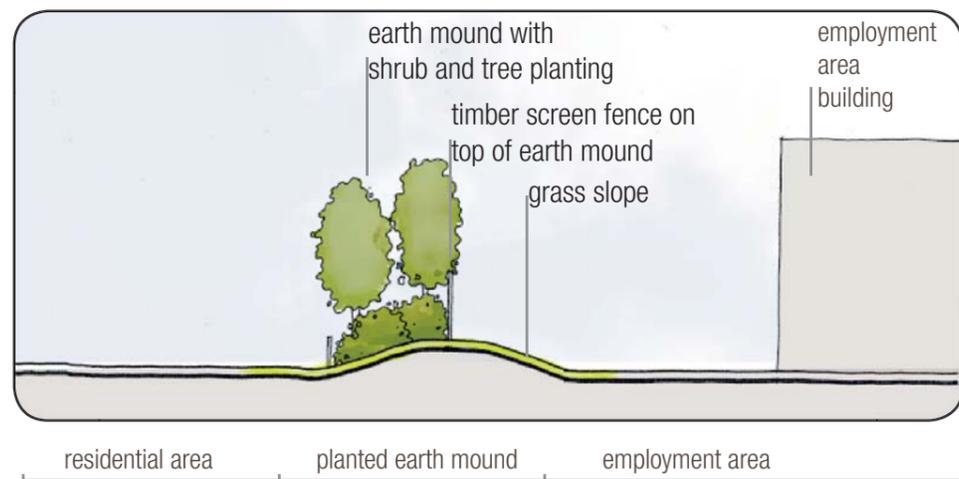
Figure 4.5.6

Detail Plan B Access road between employment and residential areas



Figure 4.5.7

Section E-E Landscape buffer between employment and residential areas



5.0 Residential Areas

5.0 - Zones 6 & 7 - Residential Areas

Both green routes and stand alone 'incidental' green spaces will be located within the residential areas. The local character of the sandstone forest and heathlands as well as the colliery restoration will influence these spaces creating a more 'open' character.

- 6a Character Area 6a
southern residential areas
- 6b Character Area 6b
southern residential frontages
- 7 Character Area 7
northern residential areas

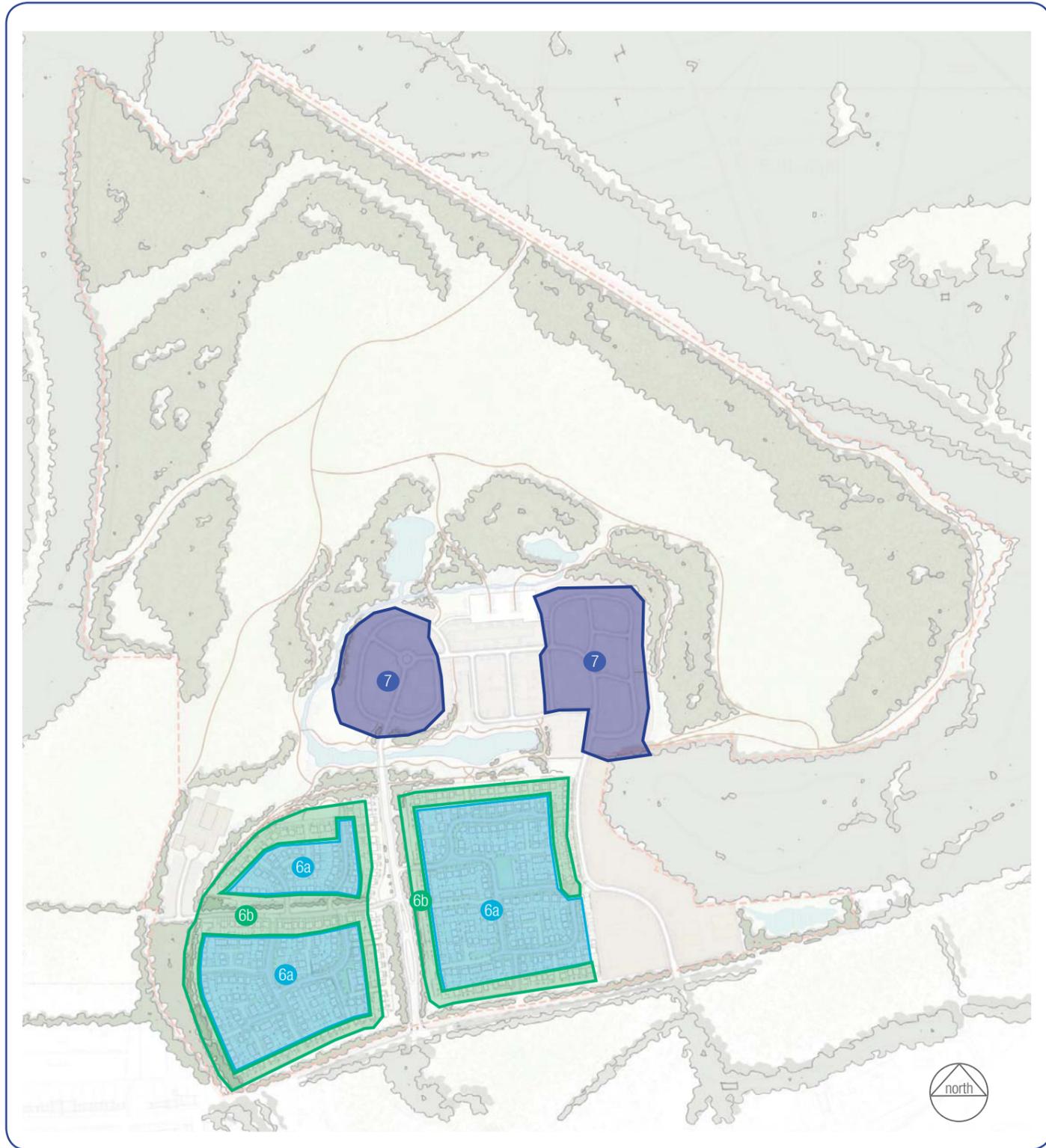


Figure 5.0.1
Residential Areas

5.0 Residential Areas

5.1 - Zone 6 - Residential Areas Boundary Treatments



5.1 Boundary Treatments

-  Trees & hedge + post and wire fence
-  Estate railing
-  1.8M total height of dwarf wall & pillars with horizontal solid timber fence
-  Knee rail
-  Dwarf wall + railings
-  Estate railing + hedge
-  Formal hedgerow

Figure 5.1.1
Zone 6 - Residential Areas Boundary Treatments



ESTATE RAILING



1.8M DWARF WALL WITH HORIZONTAL TIMBER SLATS



KNEE RAIL



DWARF WALL WITH RAILING



ESTATE RAILING WITH HEDGE



FORMAL HEDGEROW



TREES AND HEDGE WITH POST & WIRE FENCE

5.0 Residential Areas

5.2 - Zone 6A- Residential Area A

The southern residential area will consist of a range of detached, semi-detached and mews style dwellings, either 2 or 2.5 storeys in height.

Front garden boundaries will be determined by the hierarchy of streets i.e.

Location	Boundary Treatment
Primary Roads	Dwarf brick wall with piers and railings 1100mm high.
Secondary Roads	Formal Hedge planting
Green Edge	Formal hedge planting with post and wire fence
Green Edge Connections	Estate railings painted black
Side Gardens fronting roads	Low brick wall and piers with horizontal timber infill panels. O/A 1800mm high.
Public Open Space	Estate railings where play space is provided. Low wide timber bollards elsewhere.
Private drives fronting open space	Timber birds mouth knee rail

Areas of hard standing in front gardens should be limited to access drives and should not dominate the green setting. These should be surfaced with small unit concrete block pavers in a colour complimentary to the immediate vernacular. Soft landscape should dominate front gardens.

Street trees should be provided to the primary streets.

Bonded gravel surface should be provided to all roads that provide direct connection to the wider peripheral green areas. Raised tables should be block paved in a concrete block, colour selected to complement the local vernacular.

Public open space will be provided with natural surveillance provided by the dwellings fronting the space. The space will be characterised by open grassed areas with formal tree planting will include the opportunities for children's play space. Separation will be created through the use of short, wide timber bollards to prevent vehicle entry but allow pedestrian permeability.

Street furniture palette should the semi-rural woodland setting, with an emphasis on contemporary timber elements. Benches and litter bins should be provided with each area of public open space. Play equipment should encourage 'natural play'.

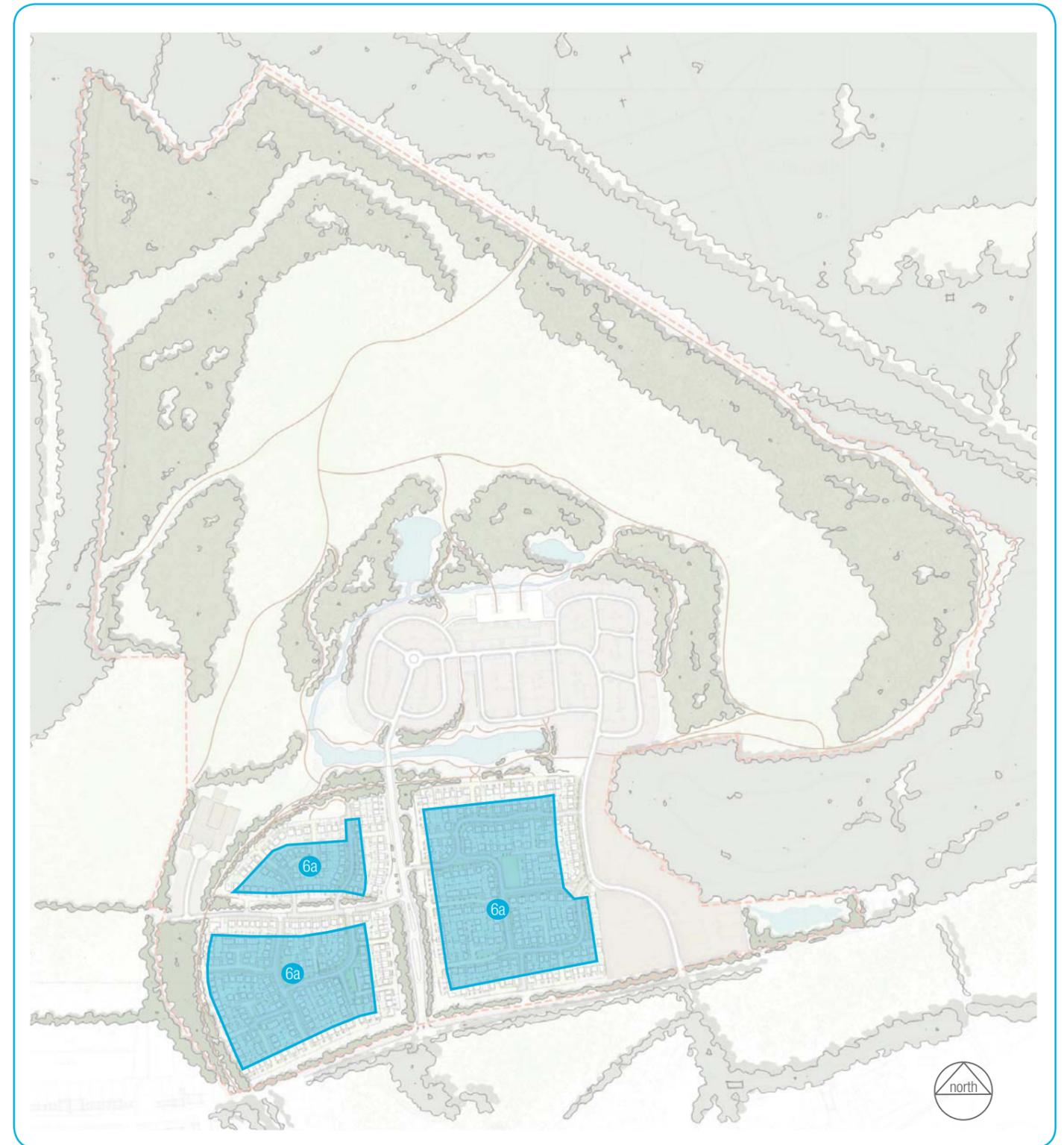


Figure 5.2.1
Zone 6A- Residential Area A

5.2 - Zone 6A- Southern Residential Areas

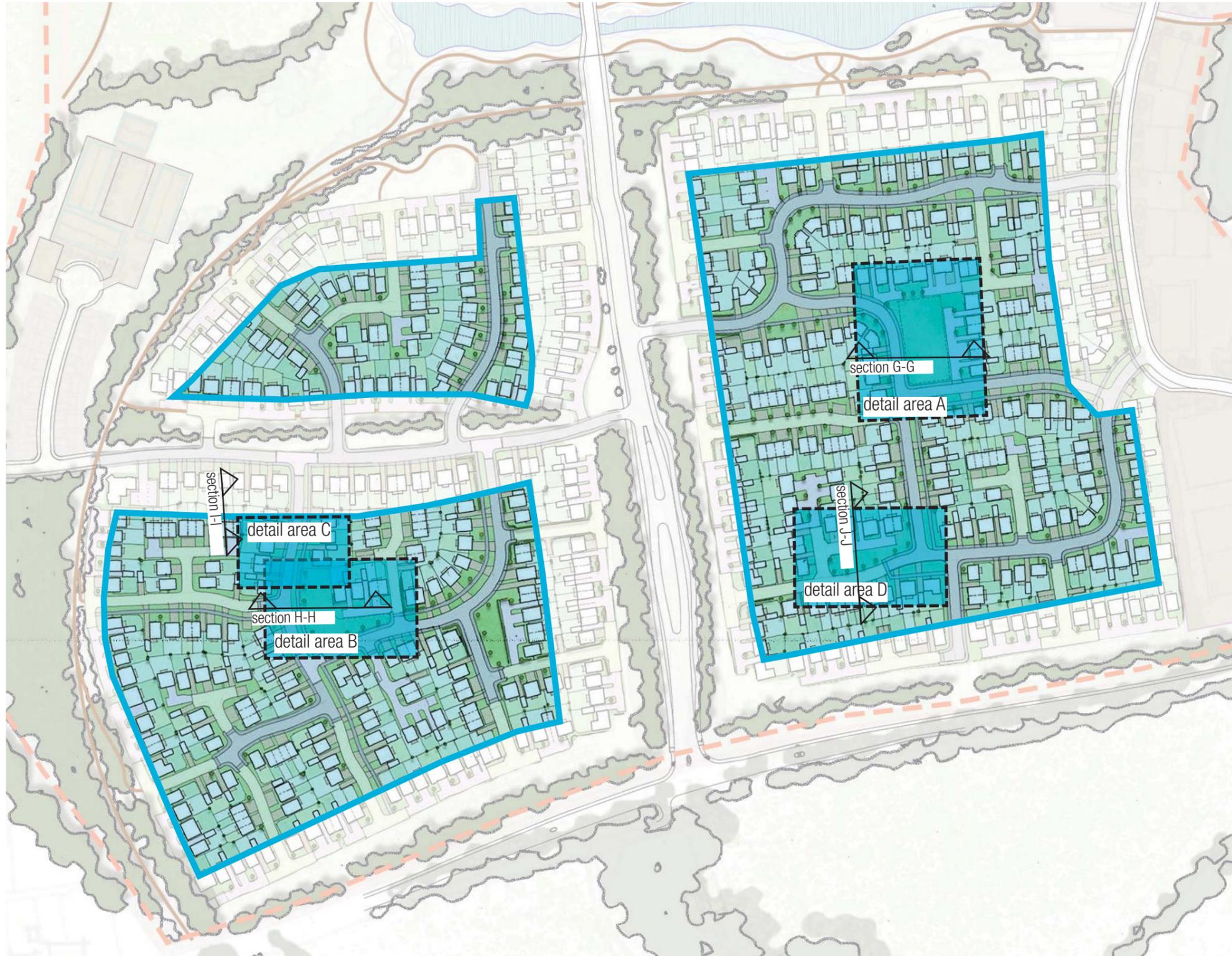


Figure 5.2.2
Zone 6A- Residential Area A

5.0 Residential Areas

5.2 - Zone 6A- Residential Area

Detail Areas & Sections

Figure 5.2.3
Section F-F Shared surface

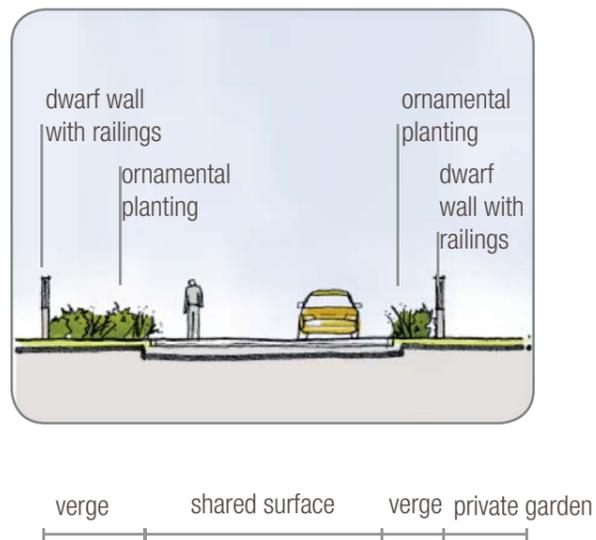


Figure 5.2.5
Detail Plan A Local Equipped Area for Play (LEAP) as outlined within section 3.2



Figure 5.2.4
Section G-G Residential area - public open space including Local Equipped Area for Play (LEAP)

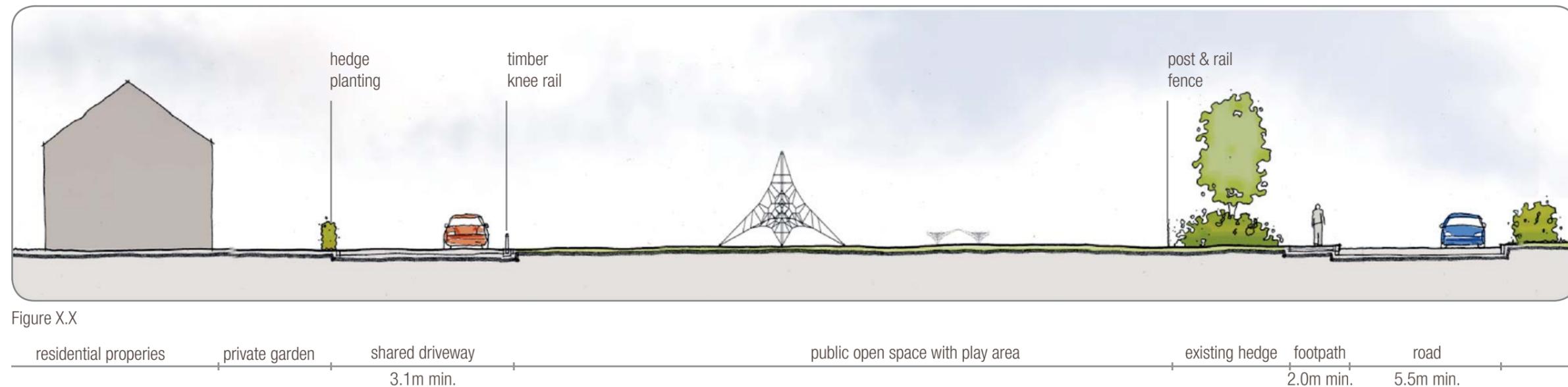


Figure X.X

5.0 Residential Areas

5.2 - Zone 6A- Residential Area

Detail Areas & Sections

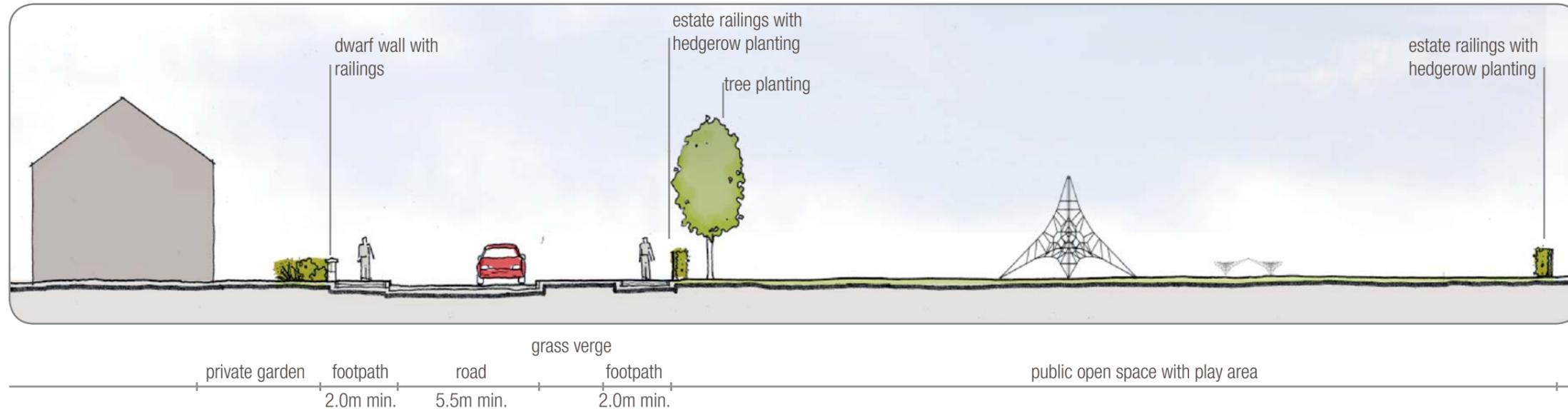
Figure 5.2.6

Detail Area B



Figure 5.2.7

Section H-H Residential area - public open space including Local Equipped Area for Play (LEAP)



5.0 Residential Areas

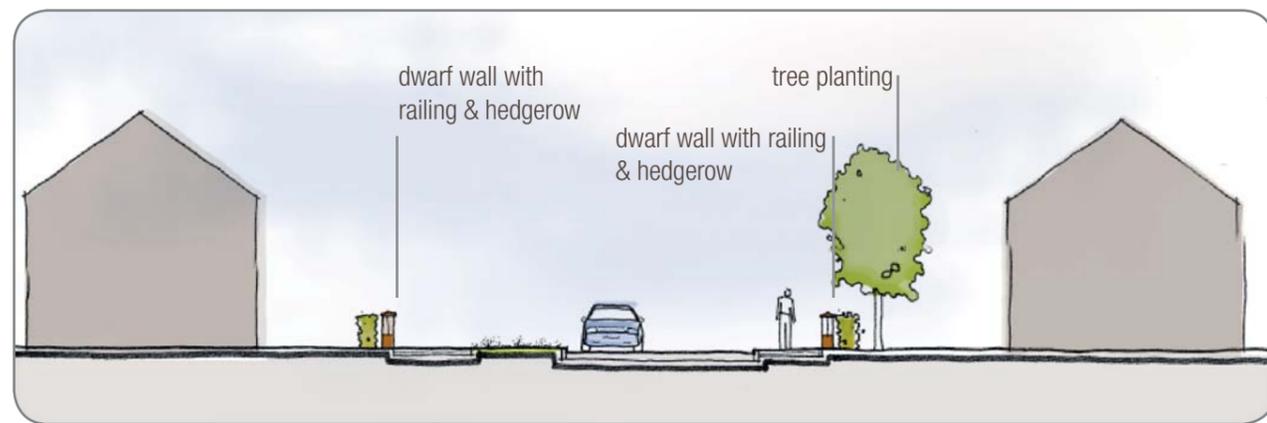
5.2 - Zone 6A- Residential Area Detail C

Detail Areas & Sections

Figure 5.2.8
Detail Plan C Residential road



Figure 5.2.9
Section I-I Residential road



5.0 Residential Areas

5.2 - Zone 6A- Residential Area Detail C

Detail Areas & Sections

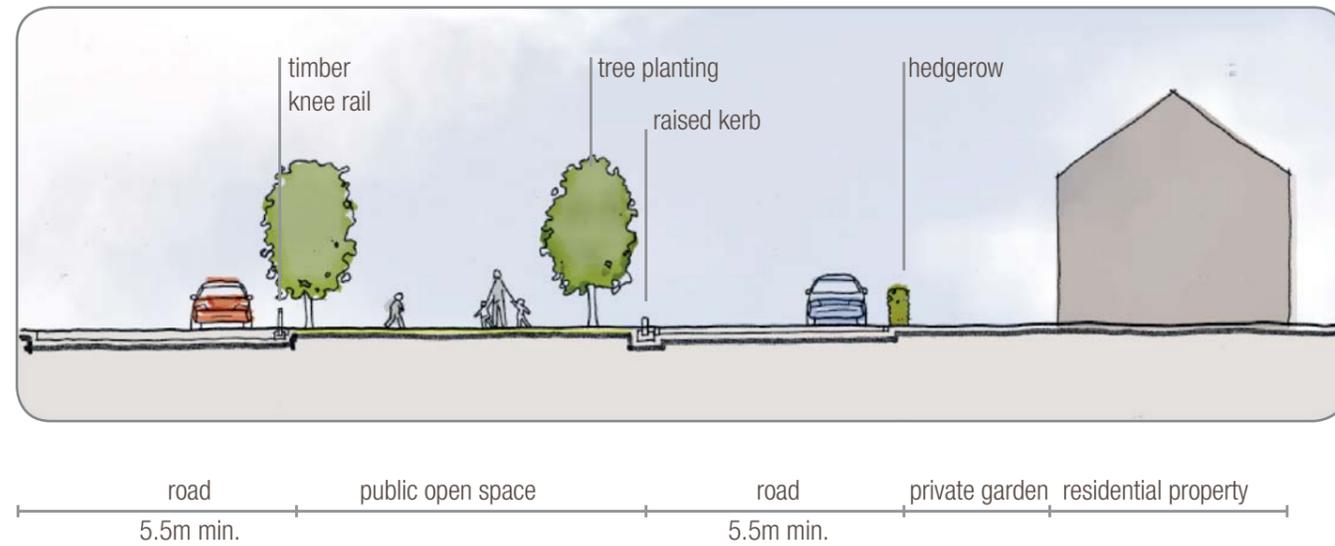
Figure 5.2.10

Detail Plan D Residential informal greenspace



Figure 5.2.11

Section J.J Residential informal greenspace



5.0 Residential Areas

5.2 - Zone 6A - Residential Area A

Soft Landscape Palette

Specimen Trees

Architectural specimen trees featuring vivid autumn colours. Contrasting varieties to be used to highlight gateways. Formal avenue tree planting to be used to create green links.

Hedgerow Boundaries

Formal hedgerow planting to provide defensible barrier from open spaces.

Ornamental Shrub Planting

Low maintenance shrub planting consisting of evergreen species with mature height of 1m. Low level informal planting to front gardens with no boundary fences or railings in some locations (refer to boundary treatment plan)



Carpinus Betulus



Tilia tomentosa 'Brabant'



Corylus colurna



Acer campestre Elsrijk



Pyrus calleryana 'Chanticleer'



Sorbus aucuparia

Specimen Trees



Prunus laurocerasus 'Otto Luyken'



Choisya ternata



Spiraea japonica Goldflame



Skimmia japonica rubella



Cotoneaster sp.

Planting Beds



Berberis thunbergii



Vinca minor



Hebe red edge



Lonicera nitida maygreen



Hebe sutherlandii

Planting Beds



Buxus sp.



Carpinus betulus

Hedge Planting



Mown grass lawn



Meadow grass

Grass

Figure 5.2.12
Soft Landscape Palette

5.2 - Zone 6A - Residential Area A

Hard Landscape Palette

Surfaces

Block paving to be used for shared surfaces in 'Burnt Ochre' or 'Bracken' colours. Footpaths and private drives will be surfaced in asphalt concrete.

Furniture

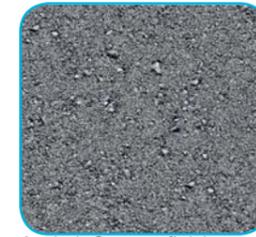
The proposed furniture palette will have a contemporary style influenced by the surrounding retained built form and former industrial uses of the site.

Gateway Features

It is proposed that the existing pit wheels are to be incorporated into the design of a gateway feature within the Village Centre.

Boundaries

Low level boundary fences or railings to front gardens (refer to boundary treatment plan).



Asphalt Concrete finish to private drives and footpaths



Self binding gravel for informal path connections



Block paved sharded surface - 'Bracken'



Block paved sharded surface - 'Burnt Ochre'



Tumbled Concrete paved sharded surface - 'Charcoal'



Tumbled Concrete paved sharded surface - 'Natural'



Concrete feature kerbs to highlight changes in surface material



Estate railings



Knee rails



Dwarf wall and railing



Timber bollards

Surface Materials

Street Furniture

Figure 5.2.13
Hard Landscape Palette

5.0 Residential Areas

5.3 - Zone 6B - Residential Area - Frontages

The residential layout has been developed to take full advantage of the setting of the development. Properties to the periphery are orientated to be outward facing.

A series of pedestrian/cycle connections will be provided that create a link between the green corridor and the secondary streets serving the dwellings. Private drives (serving no more than 5 dwellings) will be orientated parallel with the adjacent corridor and by surfaced with block paving, in a colour complimentary to the vernacular of the dwellings.

The front boundaries of properties will be defined through single species formal hedge planting, with a further mixed native species hedge and post and wire fence planted to outside of the private drives. The native hedge will be supplemented with intermittent groups of native hedgerow trees.

Where secondary roads terminate at the boundary with the green corridor, footpath connections will be provided to the wider footpath network through the provision of simple 'nodes'. The nodes will highlight the connection to the corridor through simple bound gravel surface treatment and enclosed with estate railings. Motorcycle gates should be provided at each access point.

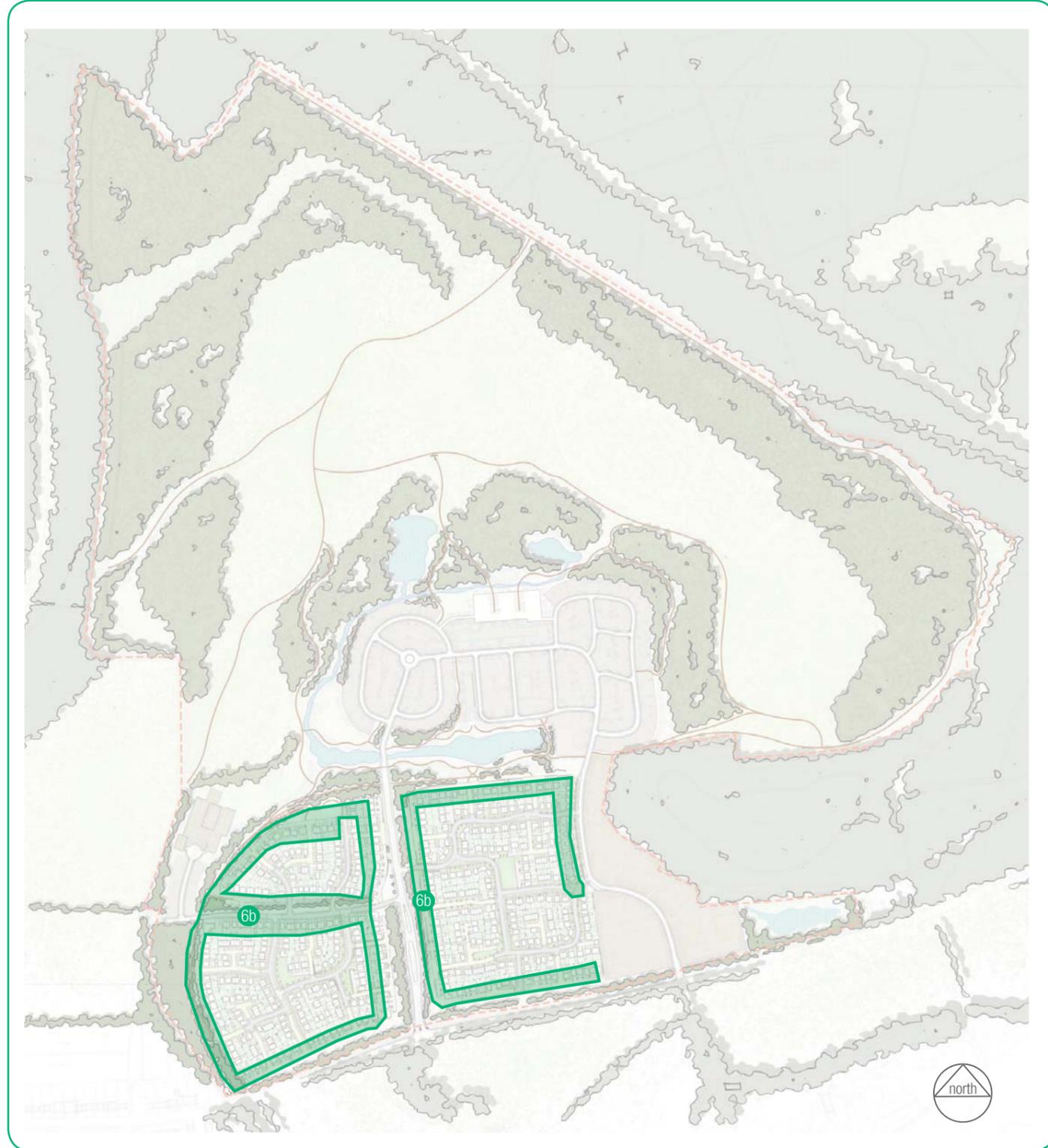


Figure 5.3.1
Zone 6B - Residential Area - Frontages

5.3 - Landscape Character Zone 6B - Residential Area - Frontages

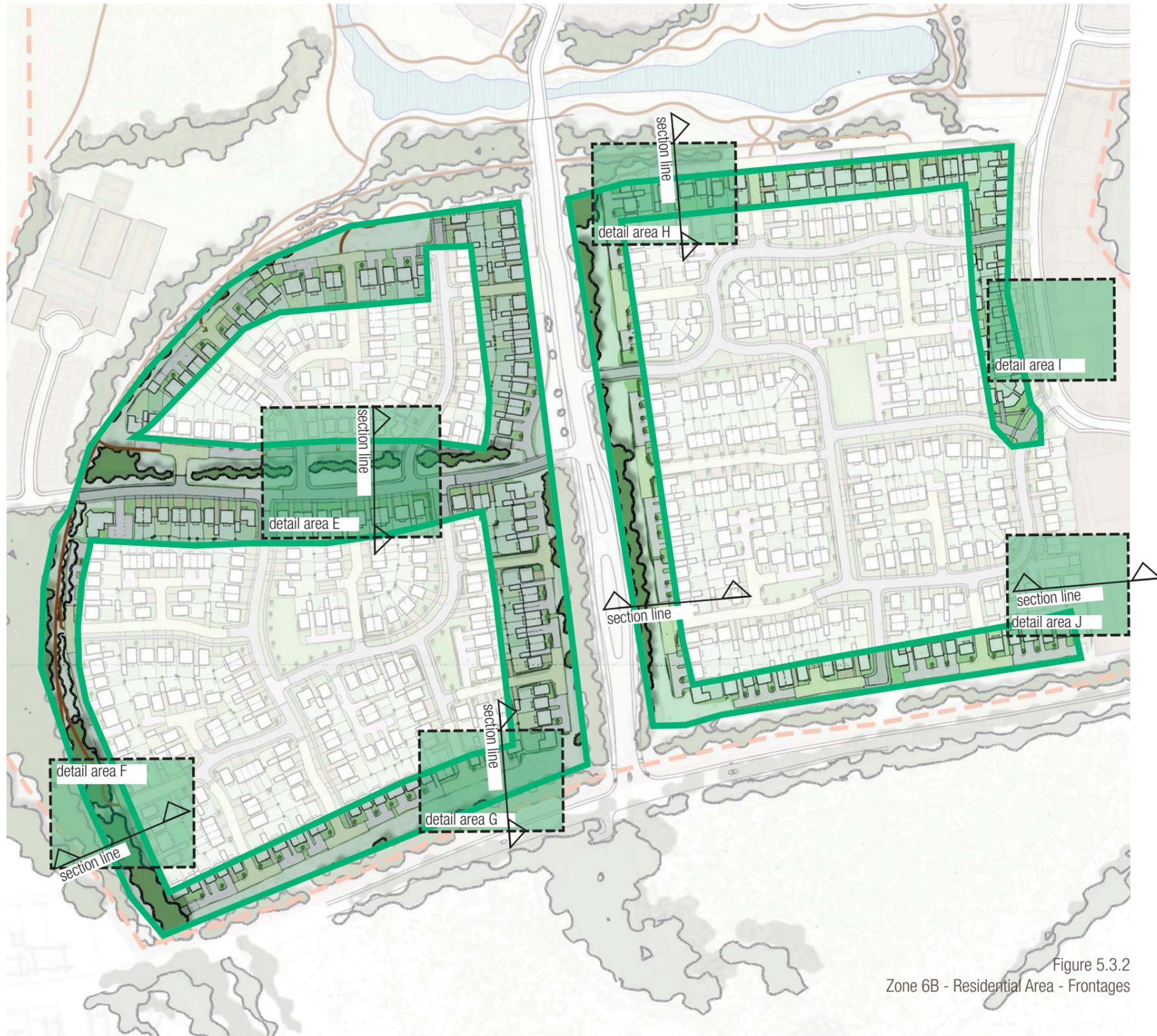


Figure 5.3.2
Zone 6B - Residential Area - Frontages

5.0 Residential Areas

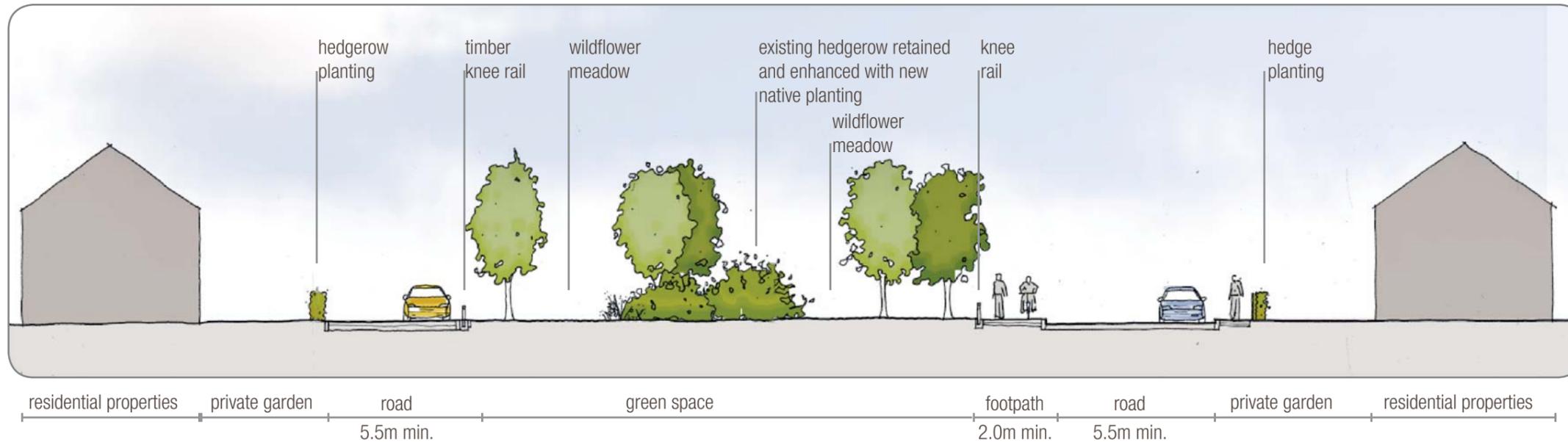
5.3 - Zone 6B - Residential Area - Frontages

Detail Areas and Sections

Figure 5.3.3
Detail Plan E



Figure 5.3.4
Section K-K



5.3 - Zone 6B - Residential Area - Frontages

Detail Areas and Sections

Figure 5.3.5
Detail Plan F

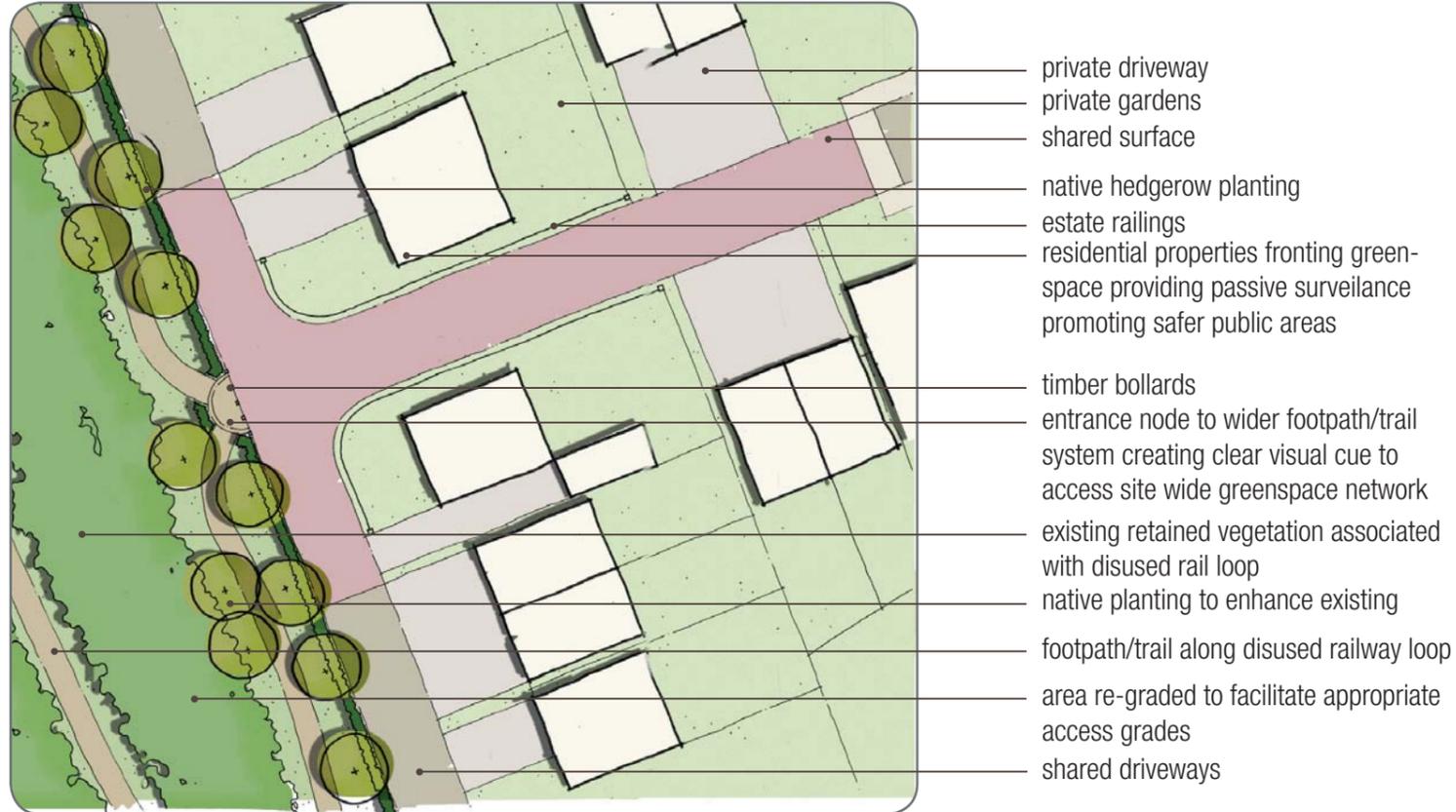


Figure 5.3.6
Section L-L



Figure 5.3.7

Precedent Images - Character



5.0 Residential Areas

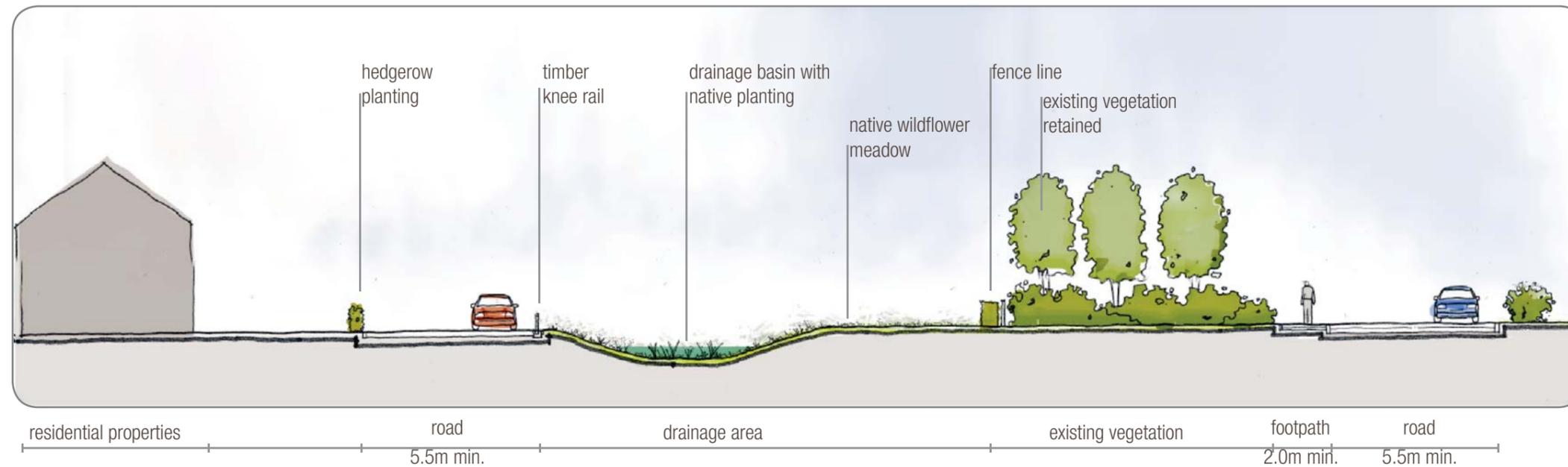
5.3 - Zone 6B - Residential Area - Frontages

Detail Areas and Sections

Figure 5.3.8
Detail Plan G



Figure 5.3.9
Section M-M Drainage zone



5.0 Residential Areas

5.3 - Zone 6B - Residential Area - Frontages

Detail Areas and Sections

Figure 5.3.10
Detail Plan H

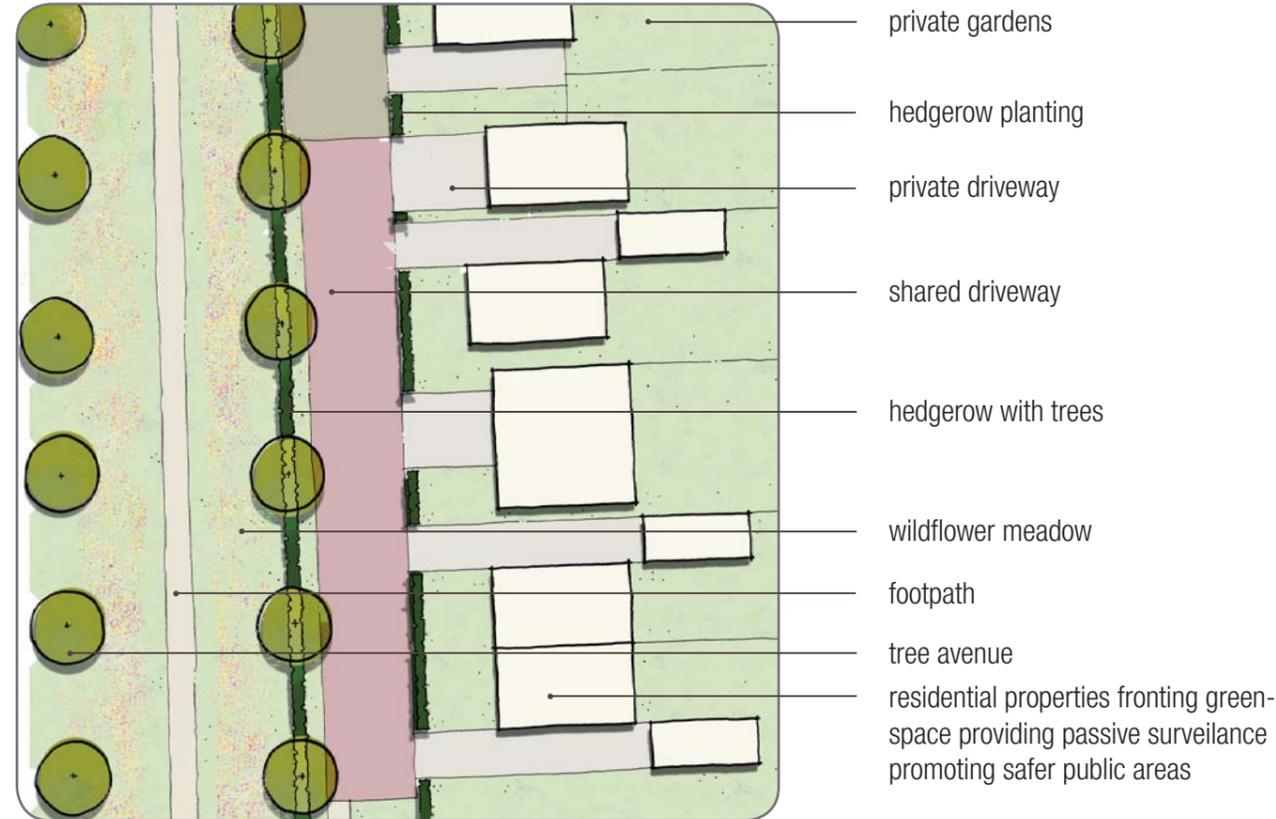


Figure 5.3.11
Section N-N

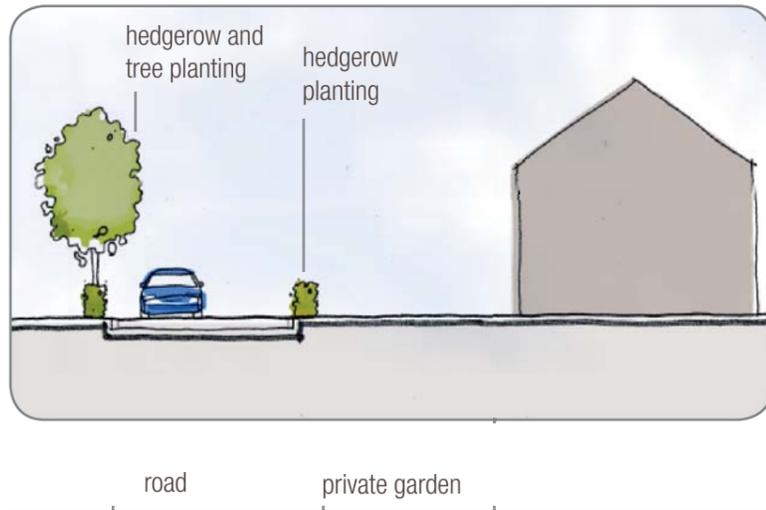
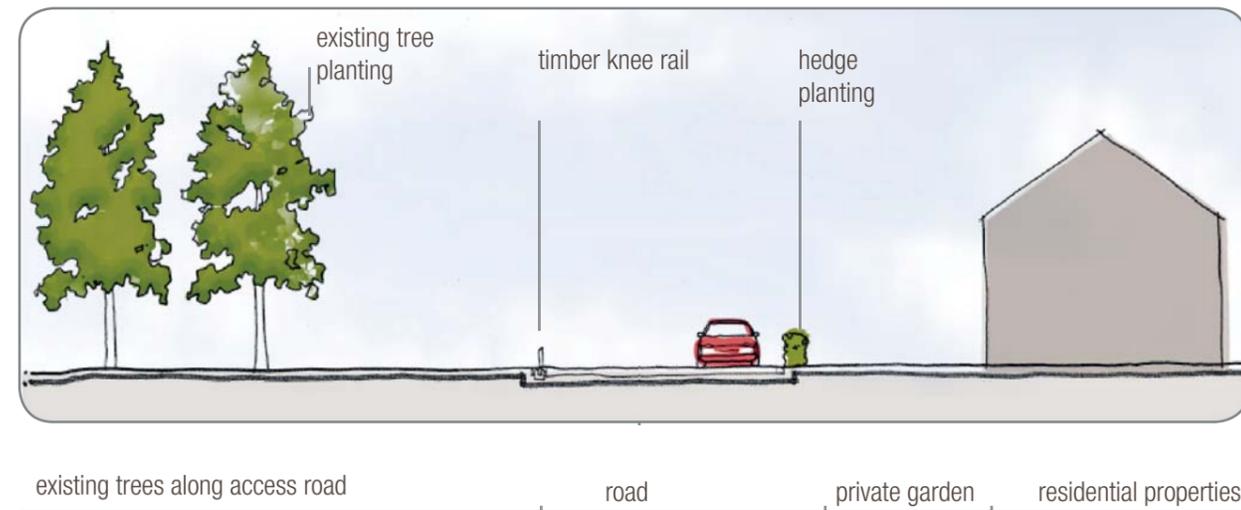


Figure 5.3.12
Section 0-0



5.0 Residential Areas

5.3 - Zone 6B - Residential Area - Frontages

Detail Areas and Sections

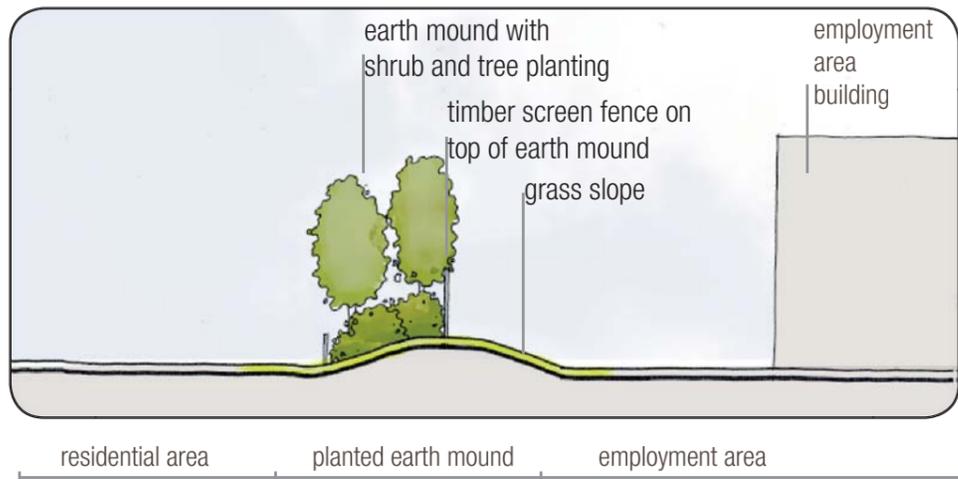
Figure 5.3.13
Detail Plan I



Figure 5.3.15
Detail Plan J



Figure 5.3.14
Section P-P



5.3 - Zone 6B - Residential Area - Frontages

Specimen Trees

Architectural specimen trees featuring vivid autumn colours. Contrasting varieties to be used to highlight gateways. Formal avenue tree planting to be used to create green links.

Hedgerow Boundaries

Formal hedgerow planting to provide defensible barrier from open spaces.

Ornamental Shrub Planting

Low maintenance shrub planting consisting of evergreen species with mature height of 1m. Low level informal planting to front gardens with no boundary fences or railings in some locations (refer to boundary treatment plan)



Carpinus Betulus Tilia tomentosa 'Brabant' Corylus colurna Acer campestre Elsrijk Pyrus calleryana 'Chanticleer' Sorbus aucuparia

Specimen Trees



Prunus laurocerasus 'Otto Luyken' Choisya ternata Spiraea japonica Goldflame Skimmia japonica rubella Cotoneaster sp.

Planting Beds



Berberis thunbergii Vinca minor Hebe red edge Lonicera nitida maygreen Hebe sutherlandii

Planting Beds



Buxus sp. Carpinus betulus Mown grass lawn Meadow grass

Hedge Planting

Grass

Figure 5.3.16
Soft Materials Palette

5.3 - Zone 6B - Residential Area - Frontages

Hard Landscape Palette

Surfaces

Block paving to be used for shared surfaces in 'Burnt Ochre' or 'Bracken' colours. Footpaths and private drives will be surfaced in asphalt concrete.

Furniture

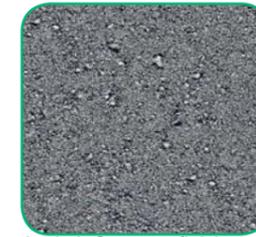
The proposed furniture palette will have a contemporary style influenced by the surrounding retained built form and former industrial uses of the site.

Gateway Features

It is proposed that the existing pit wheels are to be incorporated into the design of a gateway feature within the Village Centre.

Boundaries

Low level boundary fences or railings to front gardens (refer to boundary treatment plan).



Asphalt Concrete finish to private drives and footpaths



Self binding gravel



Block paved sharded surface - 'Bracken'



Block paved sharded surface - 'Burnt Ochre'



Tumbled Concrete paved sharded surface - 'Charcoal'



Tumbled Concrete paved sharded surface - 'Natural'



Concrete feature kerbs to highlight changes in surface material



Surface Materials



Estate railings



Knee rails



Dwarf wall and railing



Timber bollards

Street Furniture

Figure 5.3.17
Hard Materials Palette

5.0 Residential Areas

5.4 - Zone 7 - Residential Area, Northern

The character of the northern residential area will reflect the semi-rural setting and local landscape character of sandstone forest and heathlands. This will also be influenced by the post-industrial/colliery restoration associated with the site.

The details of the landscape elements will develop iteratively as the layout of the residential areas evolve. However, the principles developed for the southern residential areas should be built upon to ensure the residential areas of the site relate to one another while also having their own identity.



Figure 5.4.1
Zone 7 - Residential Area, Northern

5.4 - Zone 7 - Northern Residential Areas

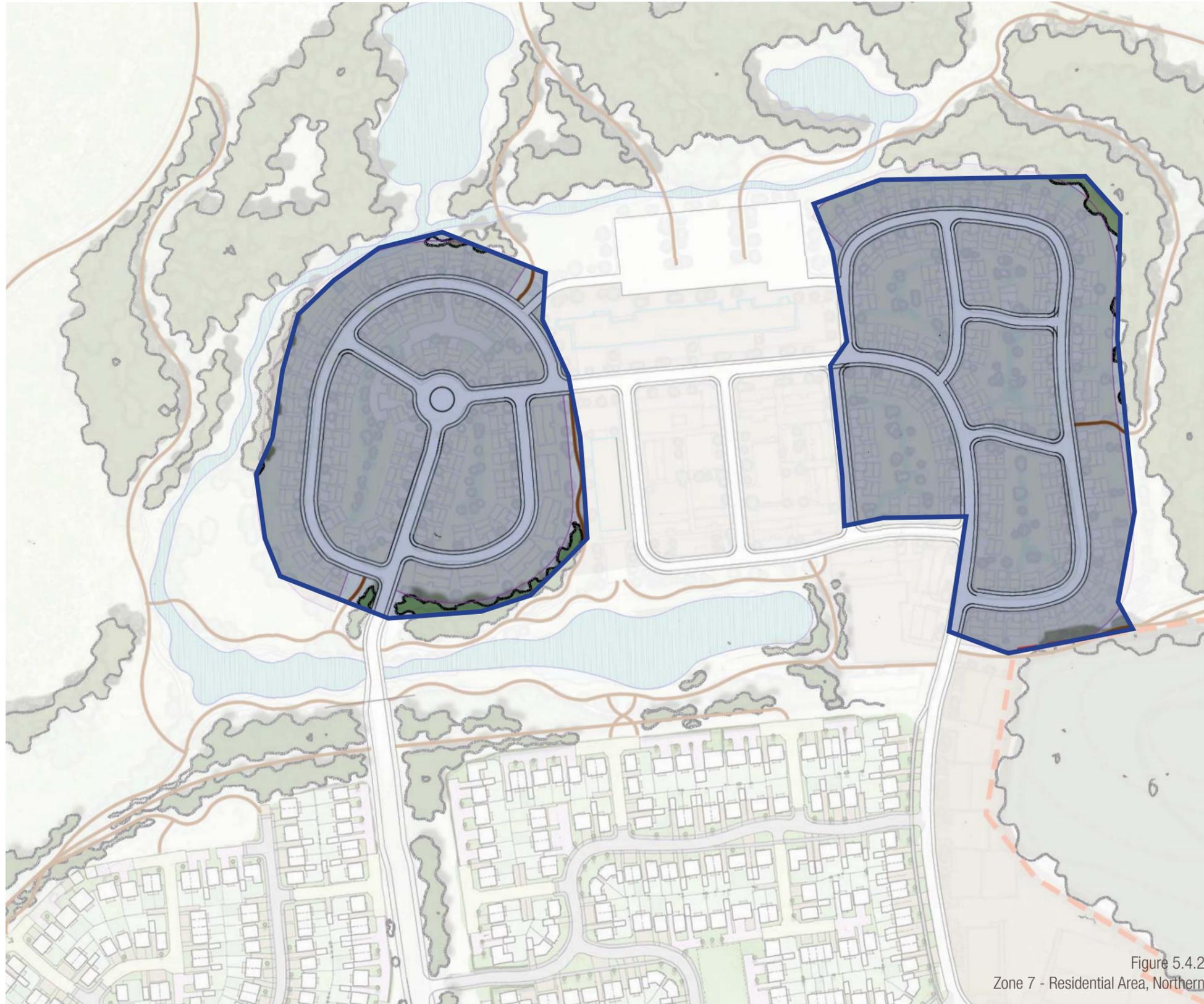


Figure 5.4.2
Zone 7 - Residential Area, Northern

5.4 - Zone 7C - Residential Area C

Specimen Trees

Architectural specimen trees featuring vivid autumn colours. Contrasting varieties to be used to highlight gateways. Formal avenue tree planting to be used to create green links.

Hedgerow Boundaries

Formal hedgerow planting to provide defensible barrier from open spaces.

Ornamental Shrub Planting

Low maintenance shrub planting consisting of evergreen species with mature height of 1m. Low level informal planting to front gardens with no boundary fences or railings in some locations (refer to boundary treatment plan)

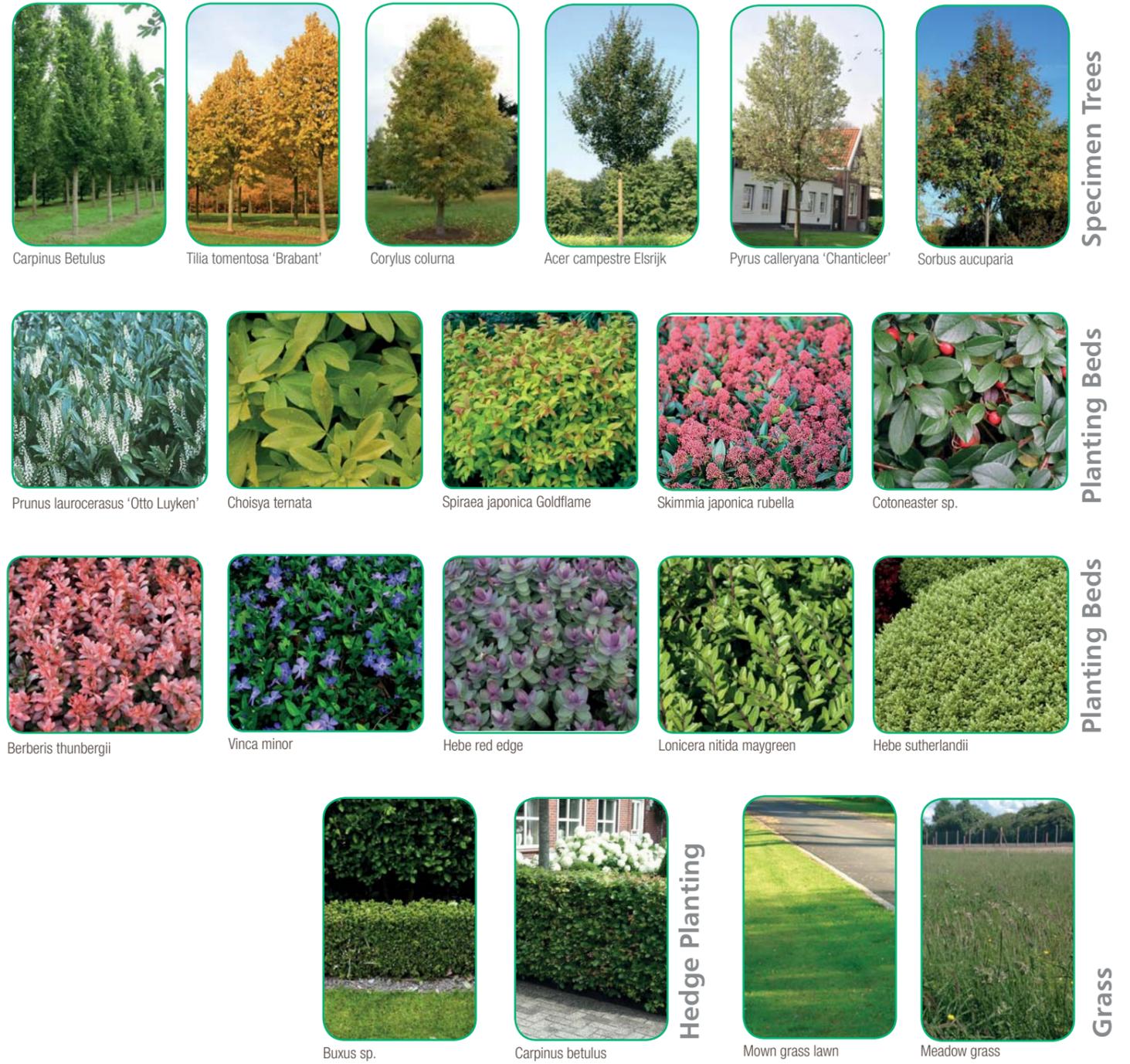


Figure 5.4.3
Soft Materials Palette

5.4 - Zone 7C - Residential Area C

Hard Landscape Palette

Surfaces

Block paving to be used for shared surfaces in 'Burnt Ochre' or 'Bracken' colours. Footpaths and private drives will be surfaced in asphalt concrete.

Furniture

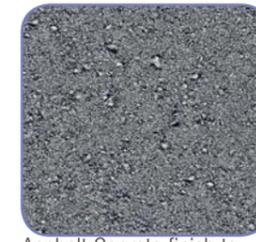
The proposed furniture palette will have a contemporary style influenced by the surrounding retained built form and former industrial uses of the site.

Gateway Features

It is proposed that the existing pit wheels are to be incorporated into the design of a gateway feature within the Village Centre.

Boundaries

Low level boundary fences or railings to front gardens (refer to boundary treatment plan).



Asphalt Concrete finish to private drives and footpaths



Self binding gravel for informal path connections



Block paved sharded surface - 'Bracken'



Block paved sharded surface - 'Burnt Ochre'



Tumbled Concrete paved sharded surface - 'Charcoal'



Tumbled Concrete paved sharded surface - 'Natural'



Concrete feature kerbs to highlight changes in surface material



Hard Landscape - Materials Palette



Estate railings



Knee rails



Dwarf wall and railing



Timber bollards

Figure 5.4.4
Hard Materials Palette

Figures

Figures

Page		Page		Page	
	Figure 1.1 – Site Plan Image				
	Figure 1.2 - View towards remaining colliery buildings	34	Figure 4.4.1 - Zone 4 - Village Centre	57	Figure 5.3.6 - Section L-L
1	Figure 1.3 - Existing Aerial View of the site and wider landscape context	35	Figure 4.4.2 - Zone 4 - Village Centre - Detailed Area	57	Figure 5.3.7 - Precedent Images – Character
2	Figure 1.4 - Site Photographs	36	Figure 4.4.3 - Heritage Art Feature	58	Figure 5.3.8 - Detail Plan G
3	Figure 1.5 - Policy Map and Inset Map 9 Edwinstowe	37	Figure 4.4.4 - Section C-C Village Centre	58	Figure 5.3.9 - Section M-M Drainage zone
4	Figure 1.6 - Landscape Character Areas	37	Figure 4.4.5 - Precedent Images - Character	59	Figure 5.3.10 - Detail Plan H
		38	Figure 4.4.6 - Soft Landscape Palette	59	Figure 5.3.11 - Section N-N
5	Figure 2.1 - Landscape Assets	39	Figure 4.4.7 - Soft Landscape Palette	59	Figure 5.3.12 - Section O-O
6	Figure 2.2 - Landscape Opportunities			60	Figure 5.3.13 - Detail Plan I
7	Figure 2.3 - Landscape Strategy	40	Figure 4.5.1 - Zone 5 - Employment Area		
		41	Figure 4.5.2 - Zone 5 - Employment Area	60	Figure 5.3.14 - Section P-P
9	Figure 3.1 - Landscape Masterplan	42	Figure 4.5.3 - Sections D-D Employment area access road	60	Figure 5.3.15 - Detail Plan J
10	Figure 3.2 - Pedestrian and Cycle Routes	42	Figure 4.5.4 - Precedent Images – Character	61	Figure 5.3.16 - Soft Materials Palette
11	Figure 3.3 - Play and Recreation Strategy	43	Figure 4.5.5 - Detail Plan A Landscape buffer between employment and residential	62	Figure 5.3.17 - Hard Materials Palette
12	Figure 3.4 - Areas for Play	43	Figure 4.6.6 - Detail Plan B Access road between employment and residential areas		
13	Figure 3.5 - Open Space Provision	43	Figure 4.6.7 - Section E-E Landscape buffer between employment and residential	63	Figure 5.4.1 - Zone 7 - Residential Area, Northern
14	Figure 3.6 - Planting Strategy			64	Figure 5.4.2 - Zone 7 - Residential Area, Northern
15	Figure 3.7 - Planting Strategy	44	Figure 5.0.1 - Residential Areas	65	Figure 5.4.3 - Soft Materials Palette
				66	Figure 5.4.4 - Hard Materials Palette
17	Figure 4.1 - Landscape Character Areas	45	Figure 5.1.1 - Zone 6 - Residential Areas Boundary Treatments		
18	Figure 4.1.1 - Precedent Images - Character	46	Figure 5.2.1 - Zone 6A- Residential Area A		
18	Figure 4.1.2 - Zone 1 - Country Park - Restoration Area	47	Figure 5.2.2 - Zone 6A- Residential Area A		
19	Figure 4.1.3 - Restoration Plan	48	Figure 5.2.3 - Section F-F Shared surface		
		48	Figure 5.2.4 - Section G-G Residential area - public open space including LEAP		
20	Figure 4.2.1 - Zone 2 - Woodland Edge	48	Figure 5.2.5 - Detail Plan A Local Equipped Area for Play (LEAP)		
21	Figure 4.2.2 - Zone 2 - Woodland Edge	49	Figure 5.2.6 - Detail Area B		
22	Figure 4.2.3 - Detail Plan A Neighbourhood Equipped Area for Play (NEAP)	49	Figure 5.2.7 - Section H-H Residential area - public open space including LEAP		
23	Figure 4.2.4 - Detail Plan B Pedestrian and cyclist entrance node to footpath/trail	50	Figure 5.2.8 - Detail Plan C Residential road		
24	Figure 4.2.5 - Section A-A	50	Figure 5.2.9 - Section I-I Residential road		
24	Figure 4.2.6 - Precedent Images – Character	51	Figure 5.2.10 - Detail Plan D Residential informal greenspace		
25	Figure 4.2.7 -Soft Landscape Palette	51	Figure 5.2.11 - Section J.J Residential informal greenspace		
26	Figure 4.2.8 - Hard Landscape Palette	52	Figure 5.2.12 - Soft Landscape Palette		
		53	Figure 5.2.13 - Hard Landscape Palette		
27	Figure 4.3.1 - Zone 3 - Site Frontage & Entrance Road Gateway				
28	Figure 4.3.2 - Zone 3 - Site Frontage & Entrance Road Gateway	54	Figure 5.3.1 - Zone 6B - Residential Area – Frontages		
29	Figure 4.3.3 - Entrance Feature	55	Figure 5.3.2 - Zone 6B - Residential Area – Frontages		
30	Figure 4.3.4 - Gateway Feature Visualisations	56	Figure 5.3.3 - Detail Plan E		
31	Figure 4.3.5 - Section B-B Through main entrance road and median	56	Figure 5.3.4 - Section K-K		
31	Figure 4.3.6 - Precedent Images – Character	57	Figure 5.3.5 - Detail Plan F		
32	Figure 4.3.7 -Soft Materials Palette				
33	Figure 4.3.8 - Hard Materials Palette				

DLA DESIGN



© DLA DESIGN GROUP of Companies Ltd 2018

The copyright of this document is owned by DLA DESIGN GROUP of Companies Ltd.

No part of this brochure/document or any designs contained within may be reproduced, stored in a retrieval system, or transmitted in any form or by any means electronic, mechanical, photocopying, recording or otherwise without permission in writing from DLA DESIGN GROUP of Companies Ltd.

All reasonable effort has been made to ensure that this colour print matches the original artwork, but due to the limitations of the colour copy process it may not be truly representative.

Google Earth image used under DLA 'Google Earth Pro Licence' ©Google 2018

Brochure Designed, Produced and Printed by DLA Graphics Limited

Offices at :

No.55
St Pauls Street
LEEDS LS1 2TE
Tel: +44(0)113 887 3100

Pearl Assurance House
23 Princess Street
MANCHESTER M2 4ER
Tel: +44(0)161 834 4550

1 Naoroji Street
Clerkenwell
LONDON WC1X 0GB
Tel: +44(0)207 553 3030

www.dla-design.co.uk

